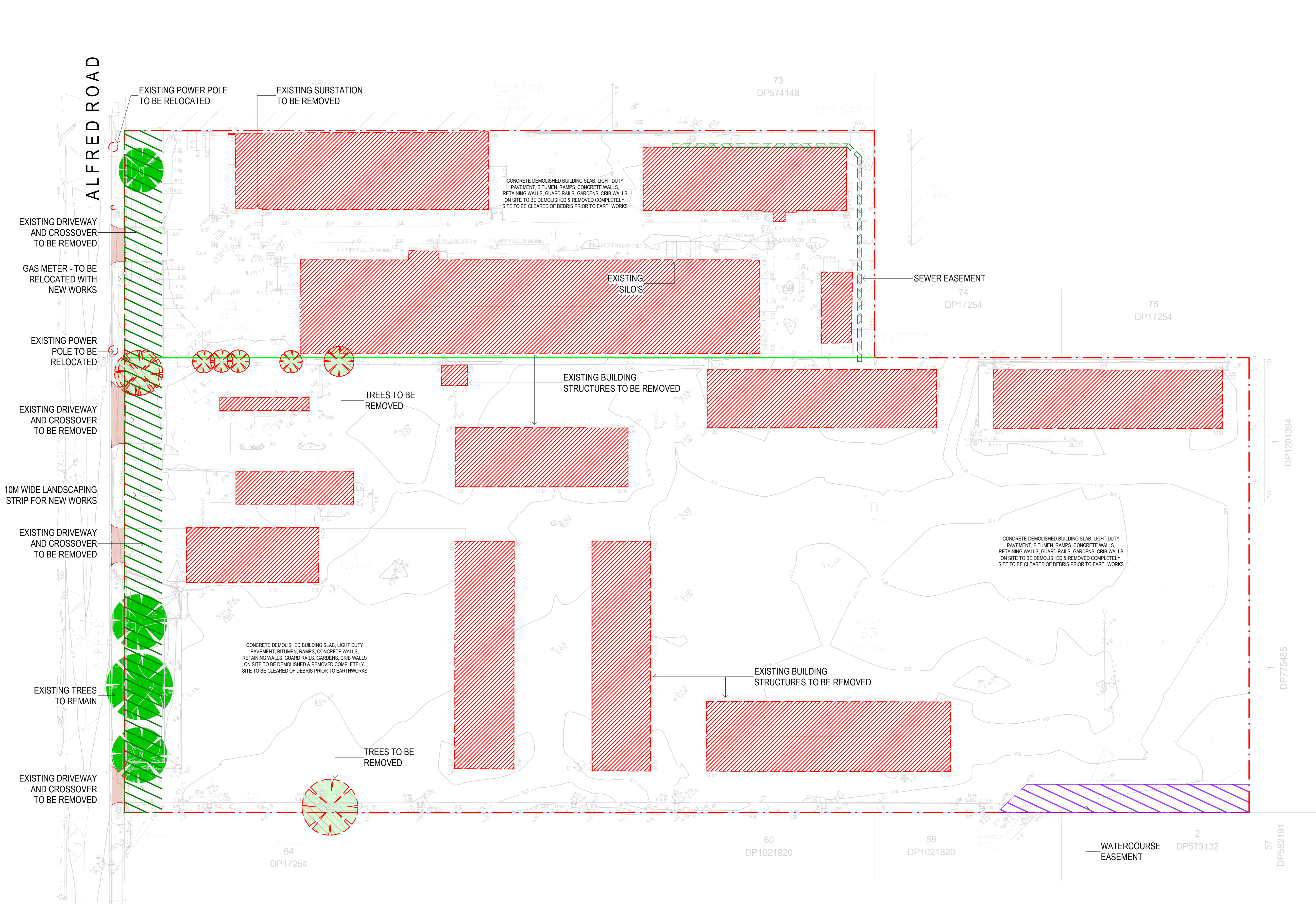


SHEET LIST

DA00	COVER SHEET
DA01	LOCALITY PLAN
DA02	SITE ANALYSIS
DA03	EXISTING CONDITIONS
DA04	DEMO PLAN
DA05	SITE PLAN
DA06	PROPOSED FLOOR PLAN - WAREHOUSE 1
DA07	PROPOSED FLOOR PLAN - WAREHOUSE 2
DA08	ROOF PLAN
DA09	ELEVATIONS & SECTIONS - OVERALL
DA10	ELEVATIONS & SECTIONS - WAREHOUSE 1
DA11	ELEVATIONS & SECTIONS - WAREHOUSE 2
DA12	PROPOSED OFFICE PLAN TYPICAL - WAREHOUSE 1
DA13	PROPOSED OFFICE PLAN TYPICAL - WAREHOUSE 2
DA14	TYPICAL PYLON SIGNAGE DETAILS



PROPOSED DEVELOPMENT
24-40 ALFRED RD, CHIPPING NORTON NSW 2170



NOTES - DEMOLITION

CONTRACTOR IS TO ALLOW TO DEMOLISH ALL STRUCTURES AND TERMINATE ALL SERVICES ABOVE GROUND. ALL FOOTINGS, FOUNDATIONS AND IN GROUND SERVICES ETC. WILL BE THE RESPONSIBILITY OF BUILDING WORKS HEAD CONTRACTOR.

CONTRACTOR IS TO CONFIRM LOCATION OF ALL EXISTING IN GROUND SERVICES PRIOR TO COMMENCEMENT OF WORKS.

CONTRACTOR IS TO VISIT THE SITE AND ASCERTAIN ALL ON SITE CONDITIONS. NO VARIATION WILL BE APPROVED CAUSED BY A MISUNDERSTANDING OF SCOPE OF WORKS.

ALL DEMOLITION WORKS ARE TO BE IN ACCORDANCE WITH APPLICABLE PORTIONS OF THE LATEST FOLLOWING CURRENT AUSTRALIAN STANDARDS:

- AS 2187
- AS 2436
- AS 2601
- AND ALSO MUST COMPLY WITH THE REQUIREMENTS OF:
- BCA
- LOCAL COUNCIL
- BASE BUILDING GUIDELINES

MAKE GOOD TO ORIGINAL CONDITION, DAMAGE TO STRUCTURES TO BE RETAINED AND TO ADJACENT PROPERTY WITH RESULTS FROM DEMOLITION OPERATIONS. ALL RESTORATION WORK IS TO BE PERFORMED WITH OUT EXPENSES TO THE PROPRIETOR.

ANY DAMAGE TO PATHS, NATURE STRIPS, GARDEN BEDS ETC. TO ADJOINING STREETS, ARE TO BE MADE GOOD AT THE CONTRACTORS EXPENSE.

PROVIDE BEFORE AND AFTER PHOTOGRAPHIC RECORD OF PROGRESS OF WORKS INCLUDING DILAPIDATION REPORT ON ADJOINING PROPERTIES.

DEMOLISHED MATERIALS BECOME PROPERTY OF THE CONTRACTOR AND ARE TO BE REMOVED FROM SITE.

DEMOLITION WORKS WILL BE DEEMED COMPLETE WHEN CONTRACTOR LEAVES SITE IN CLEAN AND LEVELED STATE.

CONTRACTOR IS TO PROVIDE SOLID HOARDING TO ENTIRE SITE BOUNDARY DURING ALL DEMOLITION WORKS.

REMOVAL OF TREES IS TO INCLUDE GRUBBING OF ROOTS.

CONTRACTOR IS TO ALLOW FOR AN INSPECTION TO ASCERTAIN WHETHER ANY ASBESTOS IS PRESENT ON SITE AND MAKE PROVISION FOR ITS REMOVAL IN STRICT ACCORDANCE WITH AUSTRALIAN STANDARDS.

LEGEND - DEMOLITION

- DEMO**
- EXTENT OF SITE TO BE DEMOLISHED & REMOVED COMPLETELY. PARTS OF STRUCTURE LISTED &/OR DRAWN FOR DEMOLITION AS INDICATED.
 - EXISTING BUILDING AND ANCILLARY STRUCTURES TO BE REMOVED
 - INDICATES EXTENT OF CONCRETE DEMOLISHED BUILDING SLAB, LIGHT DUTY PAVEMENT, BITUMEN, RAMPS, CONCRETE WALLS, RETAINING WALLS, GUARD RAILS, GARDENS, CRIB WALLS ON SITE TO BE DEMOLISHED & REMOVED COMPLETELY
 - WATER EASEMENT
 - SEWER EASEMENT
 - EXISTING TREE
 - TREES TO BE REMOVED FOR CONSTRUCTION AND SITE WORKS. IN ACCORDANCE WITH ARBORIST REPORT

NO.	DATE:	REVISION:	BY:	CHK:
A	30.05.2022	ISSUED FOR APPROVAL	IO	JF
B	18.04.2023	ISSUED FOR APPROVAL	DM	JF
C	26.04.2023	ISSUED FOR APPROVAL	JG	JF
D	25.05.2023	ISSUED FOR APPROVAL	JG	JF
E	15.06.2023	ISSUED FOR LODGEMENT	JG	JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 ACN: 111398700
8 Gratton Street Prahran VIC 3181 info@watsonyoung.com.au www.watsonyoung.com.au
© Watson Young Architects. This drawing is protected by copyright.

PROJECT:
PROPOSED DEVELOPMENT
24-40 ALFRED RD, CHIPPING NORTON NSW 2170

TITLE:
DEMO PLAN

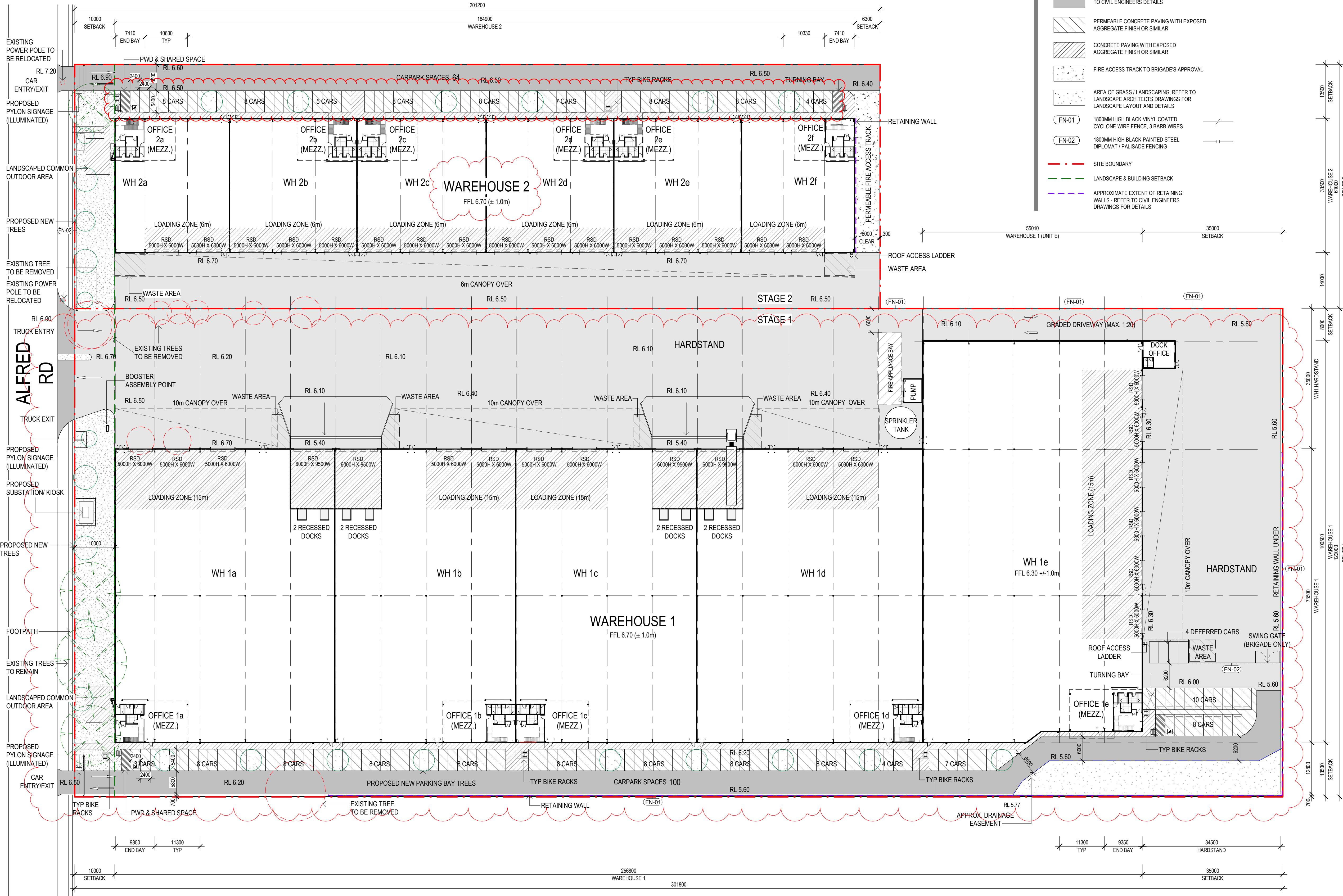
CLIENT:

Aliro

DATE: APRIL, 2023
DRAWN BY: DM
SCALE: 1 : 500 @A1
SCALE: 1 : 1000 @A3

JOB NO:	21420
DRAWING NO:	DA04
REVISION:	E

watson
young



SITE PLAN
SCALE: 1 : 500

LEGEND

- INDICATES EXTENT OF HEAVY DUTY HARDSTAND TO CIVIL ENGINEERS DETAILS
- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- PERMEABLE CONCRETE PAVING WITH EXPOSED AGGREGATE FINISH OR SIMILAR
- CONCRETE PAVING WITH EXPOSED AGGREGATE FINISH OR SIMILAR
- FIRE ACCESS TRACK TO BRIGADE'S APPROVAL
- AREA OF GRASS / LANDSCAPING, REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
- 1800MM HIGH BLACK VINYL COATED CYCLONE WIRE FENCE, 3 BARB WIRES
- 1800MM HIGH BLACK PAINTED STEEL DIPLOMAT / PALISADE FENCING
- SITE BOUNDARY
- LANDSCAPE & BUILDING SETBACK
- APPROXIMATE EXTENT OF RETAINING WALLS - REFER TO CIVIL ENGINEERS DRAWINGS FOR DETAILS

NOTES

- ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS
- ALL PARKING SPACES IN ACCORDANCE WITH AS 2890.1
- ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)
- SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS
- ALL RELATIVE LEVELS ARE SHOWN TO A.H.D. (Australian Height Datum), AND SUBJECT TO FURTHER CIVIL DESIGN. THESE MAY VARY ±1m.

DEVELOPMENT ANALYSIS

BUILDING - STAGE 1	GFA (INCLUDING LOADING)	GFA (EXCLUDING LOADING)
WAREHOUSE UNIT 1a	3,944 m²	3,439 m²
WAREHOUSE UNIT 1b	3,240 m²	2,731 m²
WAREHOUSE UNIT 1c	3,240 m²	2,732 m²
WAREHOUSE UNIT 1d	4,067 m²	3,555 m²
WAREHOUSE UNIT 1e	5,345 m²	4,336 m²
WAREHOUSE SUB TOTAL	19,836 m²	16,793 m²
OFFICE (GF & FF) - UNIT 1a		256 m²
OFFICE (GF & FF) - UNIT 1b		256 m²
OFFICE (GF & FF) - UNIT 1c		256 m²
OFFICE (GF & FF) - UNIT 1d		256 m²
OFFICE (GF & FF) - UNIT 1e		256 m²
DOCK OFFICE - UNIT 1e		54 m²
WAREHOUSE 1 OFFICES TOTAL		1,334 m²

OVERALL TOTAL GFA WH1	21,170 m²	18,127 m²
-----------------------	-----------	-----------

BUILDING - STAGE 2	GFA (INCLUDING LOADING)	GFA (EXCLUDING LOADING)
WAREHOUSE UNIT 2a	877 m²	751 m²
WAREHOUSE UNIT 2b	990 m²	799 m²
WAREHOUSE UNIT 2c	1,004 m²	810 m²
WAREHOUSE UNIT 2d	990 m²	799 m²
WAREHOUSE UNIT 2e	990 m²	799 m²
WAREHOUSE UNIT 2f	867 m²	743 m²
WAREHOUSE SUB TOTAL	5,718 m²	4,701 m²
OFFICE (GF & FF) - UNIT 2a		218 m²
OFFICE (GF & FF) - UNIT 2b		218 m²
OFFICE (GF & FF) - UNIT 2c		218 m²
OFFICE (GF & FF) - UNIT 2d		218 m²
OFFICE (GF & FF) - UNIT 2e		218 m²
OFFICE (GF & FF) - UNIT 2f		218 m²
WAREHOUSE 2 OFFICES TOTAL		1,308 m²

OVERALL TOTAL GFA WH2	7,026 m²	6,009 m²
-----------------------	----------	----------

OVERALL DEVELOPMENT GFA	28,196 m²	24,136 m²
-------------------------	-----------	-----------

GFA CALCULATED TO INSIDE OF FACE EXTERNAL WALLS AND CENTRE LINE OF INTERTENANCY WALLS
TOTAL BUILDING AREAS EXCLUDE PUMP HOUSE, VERTICAL CIRCULATION (STAIRLIFTS), BALCONIES, STORAGE AREAS, VOIDS AND SERVICES.

EXTERNAL AREAS (APPROX.)	
WH1 CANOPIES	1,893 m²
WH2 CANOPY(S)	1,018 m²
HARDSTAND	14,270 m²
LIGHT DUTY	3,337 m²
LANDSCAPE	3,579 m²
INCLUDES PERMEABLE FIRE ACCESS TRACK AND PERMEABLE CARPARK	

PARKING	
RATE REQUIRED	1 PER 250m² WH 1 PER 35m² OFFICE
TOTAL BAYS REQUIRED	161
TOTAL BAYS PROVIDED	164

SITE COVERAGE	
TOTAL SITE AREA	49,093 m²
TOTAL BUILDING FOOTPRINT	3,483 m²
SITE COVERAGE	54.23%

NO.	DATE	REVISION	BY	CHK
J	26.04.2023	ISSUED FOR APPROVAL	JG	JF
K	06.05.2023	ISSUED FOR APPROVAL	DM	JF
L	17.05.2023	PRELIMINARY ISSUE	JG	JF
M	25.05.2023	ISSUED FOR APPROVAL	JG	JF
N	15.06.2023	ISSUED FOR LODGEMENT	JG	JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 A/CN: 111398700
8 Gratton Street Prahran VIC 3181 info@watsonyoung.com.au watsonyoung.com.au
© Watson Young Architects. This drawing is protected by copyright.

PROJECT:
PROPOSED DEVELOPMENT
24-40 ALFRED RD, CHIPPING NORTON NSW 2170

TITLE:
SITE PLAN

CLIENT:



DATE: APRIL, 2023
DRAWN BY: GJ
SCALE: 1 : 500 @A1
SCALE: 1 : 1000 @A3

JOB NO:	21420
DRAWING NO:	DA05
REVISION:	N



NOTES

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL PARKING SPACES IN ACCORDANCE WITH AS 2890.1

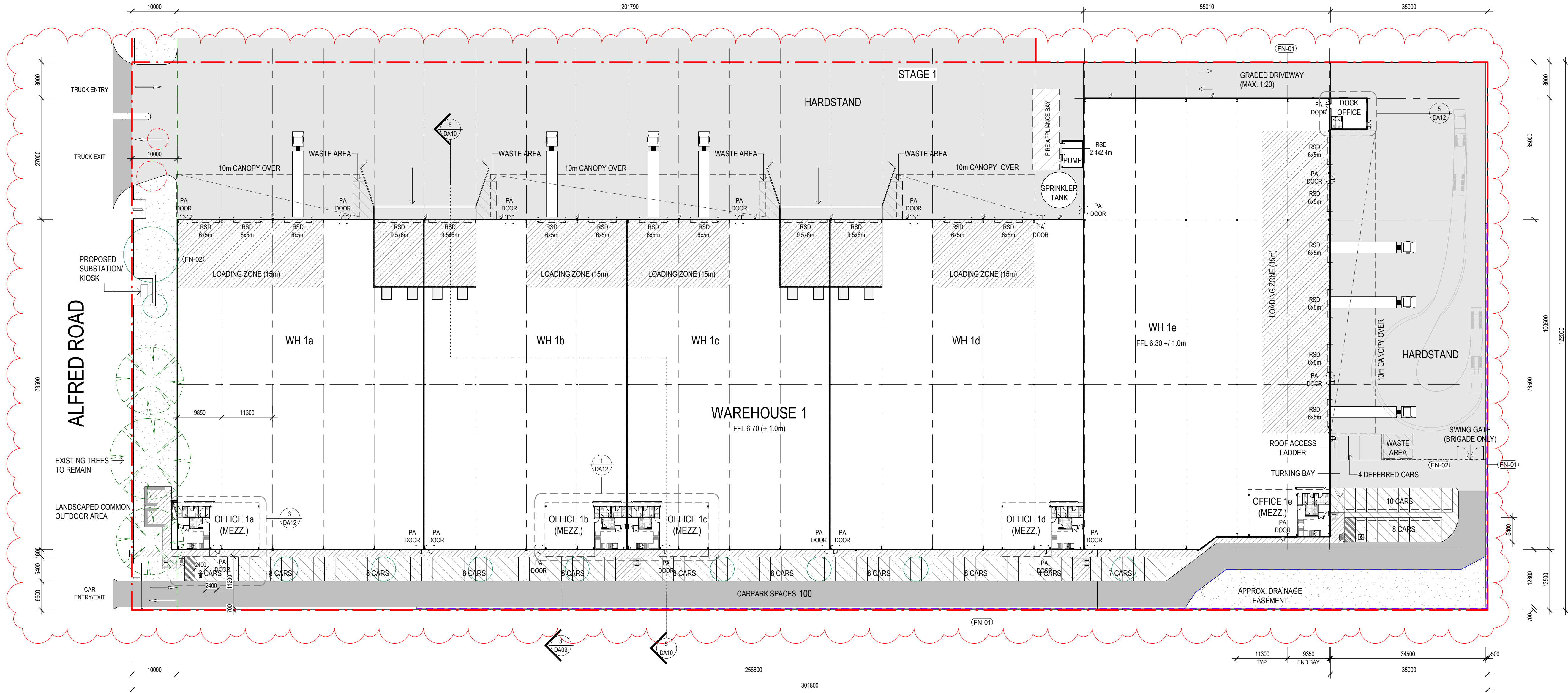
ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN STANDARD AS2890 (5.4m x 2.4m)

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL AUTHORITY & COUNCIL REQUIREMENTS

ALL RELATIVE LEVELS ARE SHOWN TO A H.D. (Australian Height Datum), AND SUBJECT TO FURTHER CIVIL DESIGN. THESE MAY VARY ±1m.

LEGEND

- INDICATES EXTENT OF HEAVY DUTY HARDSTAND TO CIVIL ENGINEERS DETAILS
- INDICATES EXTENT OF LIGHT DUTY PAVEMENT TO CIVIL ENGINEERS DETAILS
- PERMEABLE CONCRETE PAVING WITH EXPOSED AGGREGATE FINISH OR SIMILAR
- CONCRETE PAVING WITH EXPOSED AGGREGATE FINISH OR SIMILAR
- FIRE ACCESS TRACK TO BRIGADE'S APPROVAL
- AREA OF GRASS / LANDSCAPING, REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS
- FN-01 1800MM HIGH BLACK VINYL COATED CYCLONE WIRE FENCE, 3 BARB WIRES
- FN-02 1800MM HIGH BLACK PAINTED STEEL DIPLOMAT / PALISADE FENCING
- SITE BOUNDARY
- LANDSCAPE & BUILDING SETBACK
- APPROXIMATE EXTENT OF RETAINING WALLS - REFER TO CIVIL ENGINEERS DRAWINGS FOR DETAILS



FLOOR PLAN - WAREHOUSE 1
SCALE: 1 : 500

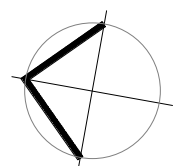
NO.	DATE:	REVISION:	BY:	CHK:
F	26.04.2023	ISSUED FOR APPROVAL	JG	JF
G	08.05.2023	ISSUED FOR APPROVAL	DM	JF
H	17.05.2023	PRELIMINARY ISSUE	JG	JF
I	25.05.2023	ISSUED FOR APPROVAL	JG	JF
J	15.06.2023	ISSUED FOR LODGEMENT	JG	JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 A/CN: 111398700
8 Gratton Street Prahran VIC 3181 info@watsonyoung.com.au www.watsonyoung.com.au
© Watson Young Architects. This drawing is protected by copyright.

PROJECT:
PROPOSED DEVELOPMENT
24-40 ALFRED RD, CHIPPING NORTON NSW 2170

TITLE:
PROPOSED FLOOR PLAN -
WAREHOUSE 1



CLIENT:
Aliro

DATE: APRIL, 2023
DRAWN BY: AS
SCALE: 1 : 500 @A1
SCALE: 1 : 1000 @A3

JOB NO:
21420
DRAWING NO:
DA06
REVISION:
J

**watson
young**

ALL NEW CROSSOVERS IN ACCORDANCE WITH LOCAL COUNCIL REQUIREMENTS

ALL PARKING SPACES IN ACCORDANCE WITH AS 2890.

ALL DISABLED PARKING SPACES IN ACCORDANCE WITH AUSTRALIAN
STANDARD AS2890
(5.4m x 2.4m)

SITE STORMWATER DRAINAGE IN ACCORDANCE WITH LOCAL
AUTHORITY & COUNCIL REQUIREMENTS

ALL RELATIVE LEVELS ARE SHOWN TO A.H.D. (AUSTRALIAN HEIGHT DATUM),
AND SUBJECT TO FURTHER CIVIL DESIGN. THESE MAY VARY $\pm 1\text{m}$.


INDICATES EXTENT OF HEAVY DUTY
HARDSTAND TO CIVIL ENGINEERS DETAILS

INDICATES EXTENT OF LIGHT DUTY PAVEMENT
TO CIVIL ENGINEERS DETAILS

 PERMEABLE CONCRETE PAVING WITH EXPOSED
AGGREGATE FINISH OR SIMILAR

 CONCRETE PAVING WITH EXPOSED
AGGREGATE FINISH OR SIMILAR

 FIRE ACCESS TRACK TO BRIGADE'S APPROVAL

 AREA OF GRASS / LANDSCAPING, REFER TO LANDSCAPE ARCHITECTS DRAWINGS FOR LANDSCAPE LAYOUT AND DETAILS

FN-01 1800MM HIGH BLACK VINYL COATED
CYCLONE WIRE FENCE, 3 BARB WIRES

FN-02 1800MM HIGH BLACK PAINTED STEEL
DIPLOMAT / PALISADE FENCING

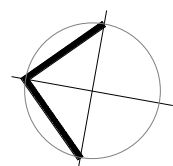
— · — SITE BOUNDARY

LANDSCAPE & BUILDING SETBACK

--- APPROXIMATE EXTENT OF RETAINING
WALLS - REFER TO CIVIL ENGINEERS
DRAWINGS FOR DETAILS



TITLE: PROPOSED FLOOR PLAN - WAREHOUSE 2



CLIENT

Aliro 

DATE: APRIL, 2023
DRAWN BY: AS
SCALE: 1 : 500@A1
SCALE: 1 : 1000 @A3

JOB NO: 21420

DRAWING NO:
DA07

REVISION
G

NO:	DATE:	REVISION:	BY:	CHK:
C	09.02.2023	ISSUED FOR APPROVAL	AS	JF
D	18.04.2023	ISSUED FOR APPROVAL	DM	JF
E	26.04.2023	ISSUED FOR APPROVAL	JG	JF
F	25.05.2023	ISSUED FOR APPROVAL	JG	JF
G	15.06.2023	ISSUED FOR LODGEMENT	JG	JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

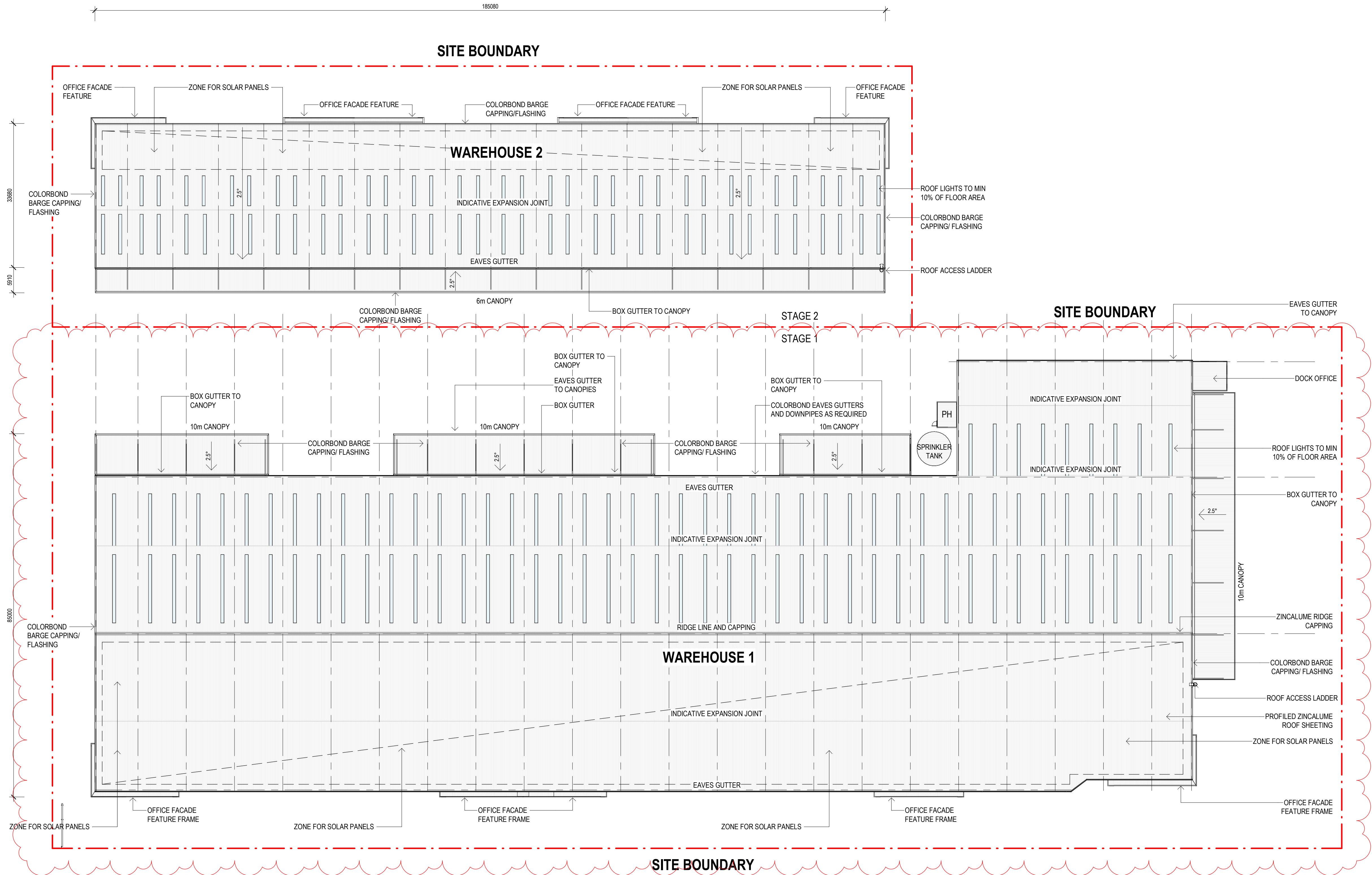
Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 ACN: 111398701
8 Gratian Street Prahran VIC 3181 info@watsonyoung.com.au watsonyoung.com.au
© Watson Young Architects. This drawing is protected by copyright.

**watson
young**

LEGEND

- PROFILED ROOF SHEETING
- PH

PROPOSED PUMP HOUSE
- SITE BOUNDARY



ROOF PLAN
SCALE: 1 : 500

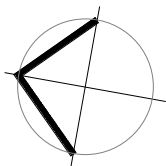
NO.	DATE:	REVISION:	BY:	CHK:
B	18.04.2023	ISSUED FOR APPROVAL	DM	JF
C	26.04.2023	ISSUED FOR APPROVAL	JG	JF
D	17.05.2023	PRELIMINARY ISSUE	JG	JF
E	25.05.2023	ISSUED FOR APPROVAL	JG	JF
F	15.06.2023	ISSUED FOR LODGEMENT	JG	JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 ACN: 111386700
8 Gratlam Street Prahran VIC 3181 info@watsonyoung.com.au www.watsonyoung.com.au
© Watson Young Architects. This drawing is protected by copyright.

PROJECT:
PROPOSED DEVELOPMENT
24-40 ALFRED RD, CHIPPING NORTON NSW 2170

TITLE:
ROOF PLAN

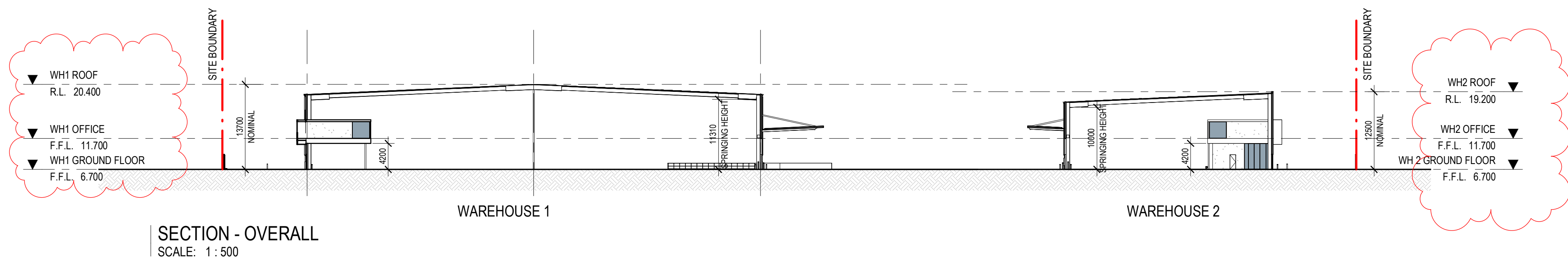
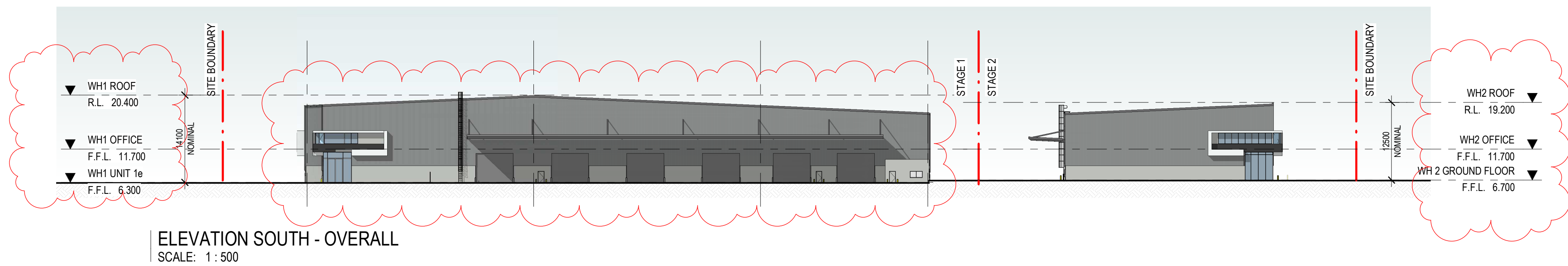
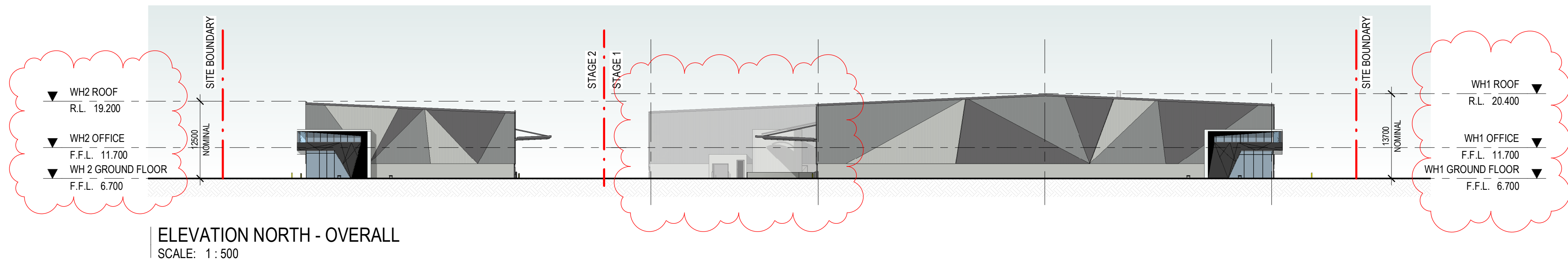


CLIENT:
Aliro

DATE: APRIL, 2023
DRAWN BY: GJ
SCALE: 1 : 500 @A1
SCALE: 1 : 1000 @A3

JOB NO:	21420
DRAWING NO:	DA08
REVISION:	F

watson young



NO.	DATE:	REVISION:	BY:	CHK:
B	18.04.2023	ISSUED FOR APPROVAL	DM	JF
C	26.04.2023	ISSUED FOR APPROVAL	JG	JF
D	17.05.2023	PRELIMINARY ISSUE	JG	JF
E	25.05.2023	ISSUED FOR APPROVAL	JG	JF
F	15.06.2023	ISSUED FOR LODGEMENT	JG	JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 ACN: 111388700
8 Gratton Street Prahran VIC 3181 info@watsonyoung.com.au www.watsonyoung.com.au
© Watson Young Architects. This drawing is protected by copyright.

PROJECT:
PROPOSED DEVELOPMENT
24-40 ALFRED RD, CHIPPING NORTON NSW 2170

TITLE:
ELEVATIONS & SECTIONS -
OVERALL

CLIENT:
Aliro

DATE: APRIL, 2023
DRAWN BY: GJ
SCALE: 1:500@A1
SCALE: 1:1000 @A3

JOB NO:
21420
DRAWING NO:
DA09
REVISION:
F

**watson
young**

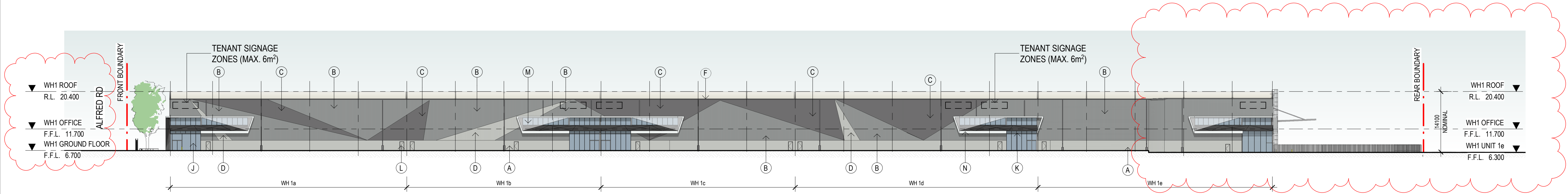
ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER TO BE HOT DIPPED GALVANISED UNLESS NOTED OTHERWISE.

ALL EXTERNAL FRAMED GLAZING TO COMPLY WITH AS-1288. VISUAL INDICATORS TO COMPLY WITH AS-1428.1-2009. THE BUILDER IS TO PROVIDE A THERMAL ASSESSMENT ON ALL GLAZING USING LIGHT COLOURED VENETIAN BLINDS IN ASSESSMENT. INCLUDE ALL ALLOWANCES TO MEET THERMAL ASSESSMENT FINDINGS.

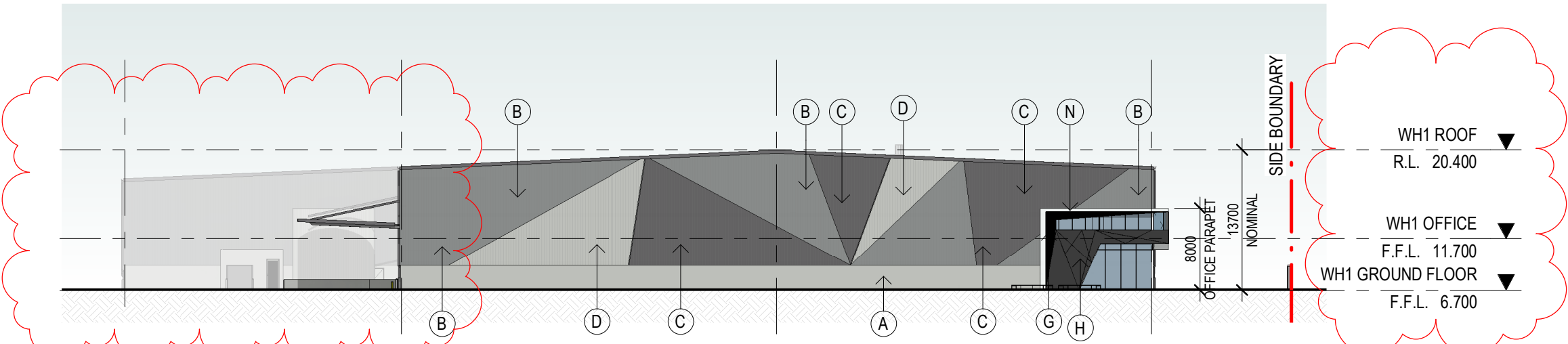
ALL FLASHINGS & CAPPINGS TO BE COLORBOND WHERE VISIBLE. ZINCALUME ELSEWHERE. WITH POWDERCOATED ALUMINIUM FRAMING - REFER SCHEDULE.

INSTALL COLORBOND WEATHER SHIELD OVER ALL ESCAPE DOORS THAT ARE EXPOSED TO THE ELEMENTS AS DETAILED.

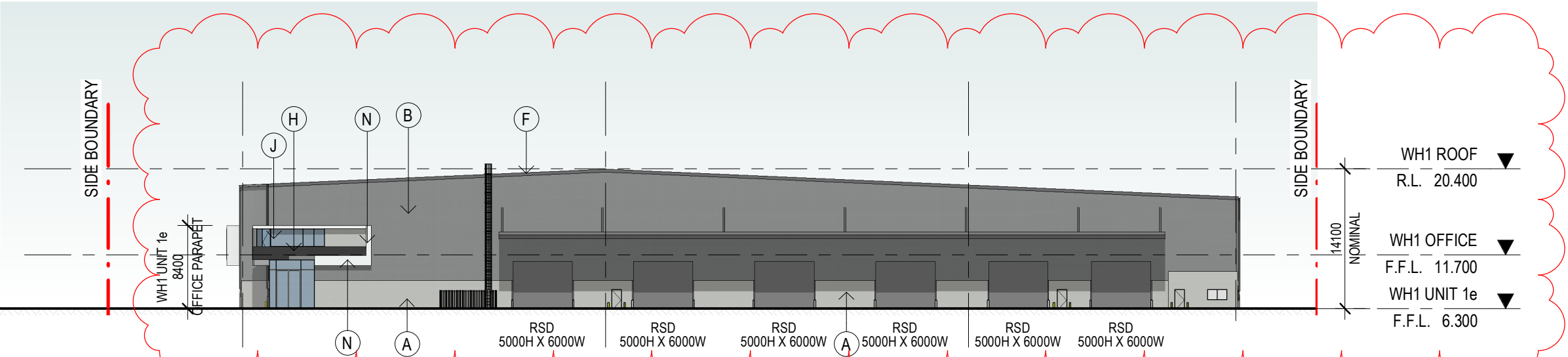
CONFIRM ALL DIMENSIONS AND CONDITIONS ON SITE AND PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO MANUFACTURING GLAZING. BUILDER AND ARCHITECT MUST BE CONTACTED IMMEDIATELY IF THERE ARE ANY DISCREPANCIES.



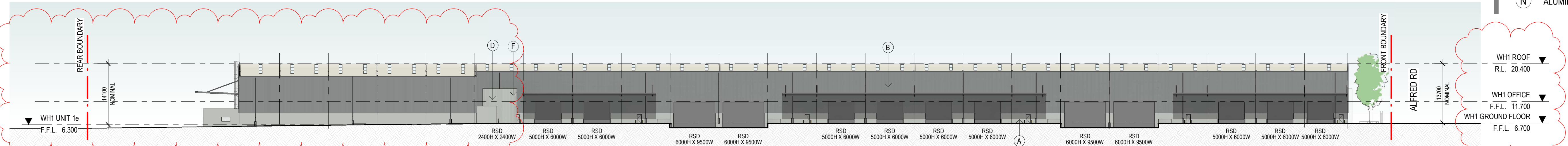
ELEVATION WEST - WAREHOUSE 1
SCALE: 1 : 500



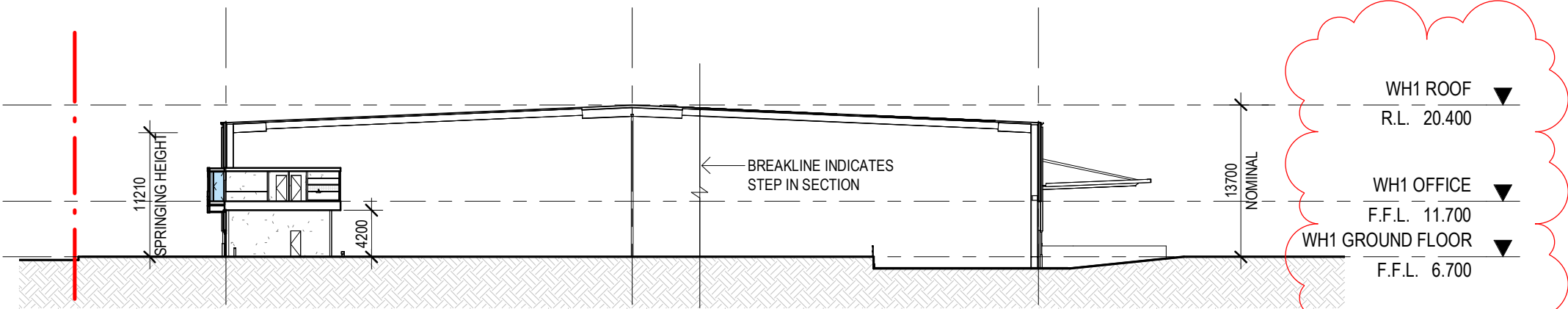
ELEVATION NORTH - WAREHOUSE 1
SCALE: 1 : 500



ELEVATION SOUTH - WAREHOUSE 1
SCALE: 1 : 500



ELEVATION EAST - WAREHOUSE 1
SCALE: 1 : 500



SECTION - WAREHOUSE 1
SCALE: 1 : 500

EXTERNAL FINISHES

(A)	PRECAST CONCRETE PANEL, PAINT FINISH	COLORBOND SHALE GREY
(B)	COLORBOND WALL CLADDING	COLORBOND WINDSPRAY
(C)	COLORBOND WALL CLADDING	COLORBOND BASALT
(D)	COLORBOND WALL CLADDING	COLORBOND SHALE GREY
(E)	ROOF CLADDING	COLORBOND SURFMIST
(F)	GUTTERS, DOWNPIPES	COLORBOND BASALT
(G)	ALUMINIUM CLADDING	BLACK
(H)	ALUMINIUM CLADDING	DARK GREY
(J)	CLEAR GLAZING	TRANSPARENT - LOW REFLECTIVITY
(K)	WINDOW / DOOR FRAMES	DARK GREY
(L)	PA DOOR EXTERNAL CLADDING	COLORBOND SHALE GREY
(M)	SHADING MECHANISM - PERFORATED METAL CLADDING	WHITE
(N)	ALUMINIUM CLADDING	LIGHT GREY

NO:	DATE:	REVISION:	BY:	CHK:
B	18.04.2023	ISSUED FOR APPROVAL	DM	JF
C	26.04.2023	ISSUED FOR APPROVAL	JG	JF
D	17.05.2023	PRELIMINARY ISSUE	JG	JF
E	25.05.2023	ISSUED FOR APPROVAL	JG	JF
F	15.06.2023	ISSUED FOR LODGEMENT	JG	JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 ACN: 111386700
8 Gratian Street Prahran VIC 3181 info@watsonyoung.com.au www.watsonyoung.com.au
© Watson Young Architects. This drawing is protected by copyright.

PROJECT:
PROPOSED DEVELOPMENT
24-40 ALFRED RD, CHIPPING NORTON NSW 2170

TITLE:
ELEVATIONS & SECTIONS -
WAREHOUSE 1

CLIENT:
Aliro

DATE: APRIL, 2023
DRAWN BY: GJ
SCALE: 1 : 500 @A1
SCALE: 1 : 1000 @A3

JOB NO:	21420
DRAWING NO:	DA10
REVISION:	F

watson young

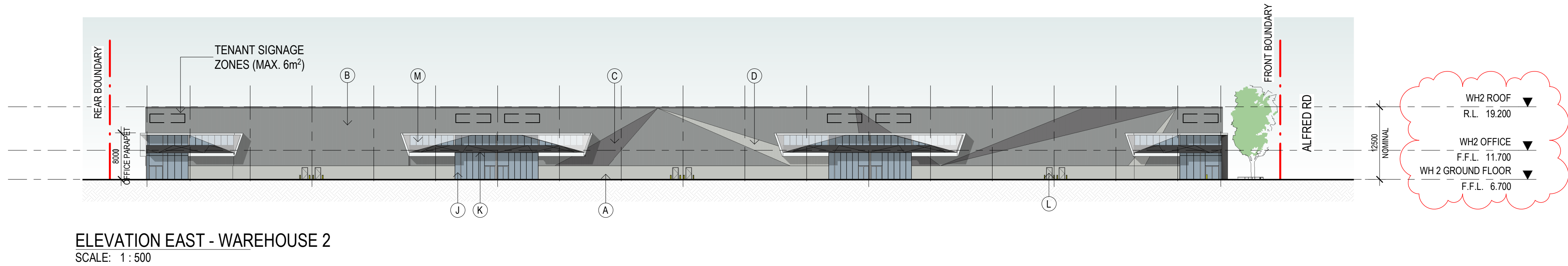
ALL EXTERNAL STEELWORK EXPOSED TO THE WEATHER TO BE HOT DIPPED GALVANISED UNLESS NOTED OTHERWISE.

ALL EXTERNAL FRAMED GLAZING TO COMPLY WITH AS-1288. VISUAL INDICATORS TO COMPLY WITH AS-1428.1-2009. THE BUILDER IS TO PROVIDE A THERMAL ASSESSMENT ON ALL GLAZING USING LIGHT COLOURED VENETIAN BLINDS IN ASSESSMENT. INCLUDE ALL ALLOWANCES TO MEET THERMAL ASSESSMENT FINDINGS.

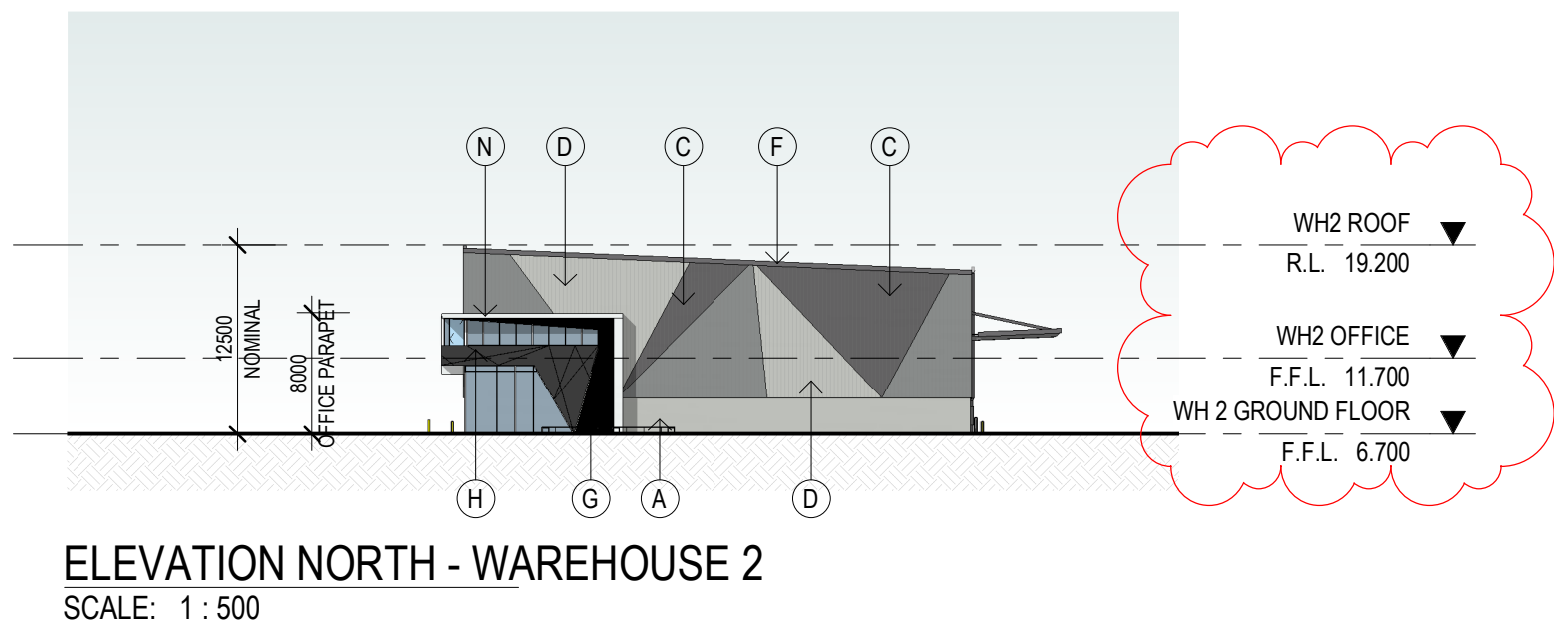
ALL FLASHINGS & CAPPINGS TO BE COLORBOND WHERE VISIBLE. ZINCALUME ELSEWHERE. WITH POWDERCOATED ALUMINIUM FRAMING - REFER SCHEDULE.

INSTALL COLORBOND WEATHER SHIELD OVER ALL ESCAPE DOORS THAT ARE EXPOSED TO THE ELEMENTS AS DETAILED.

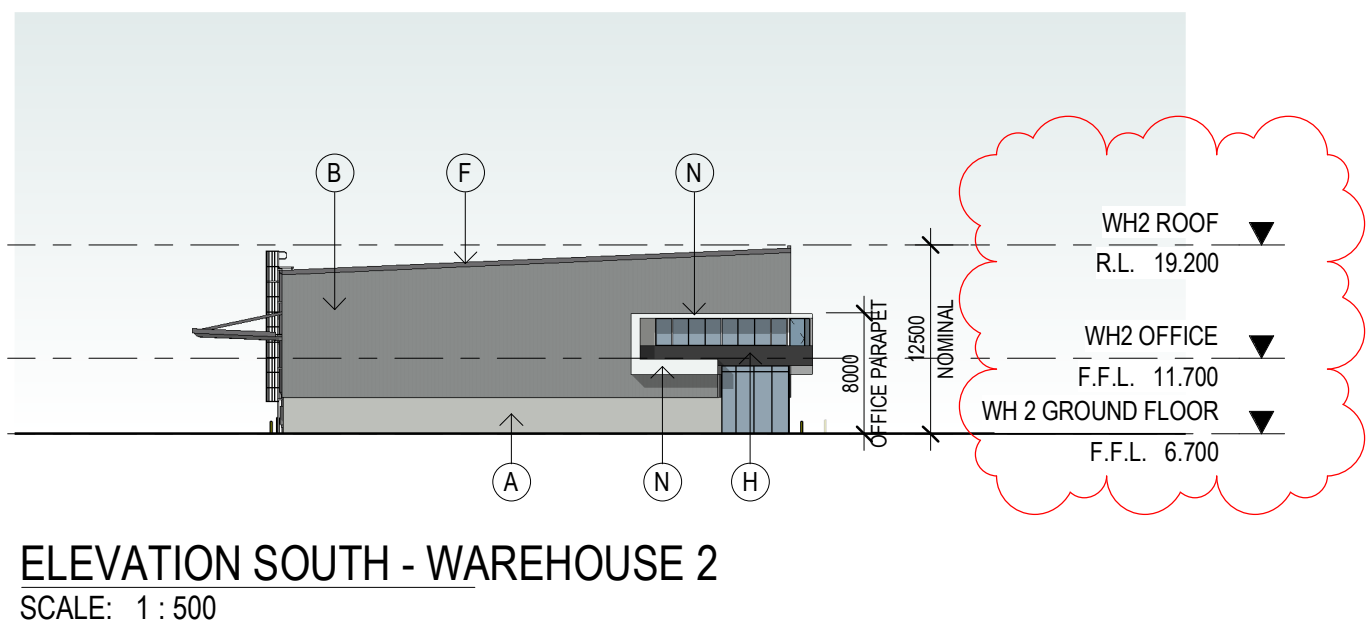
CONFIRM ALL DIMENSIONS AND CONDITIONS ON SITE AND PROVIDE SHOP DRAWINGS FOR APPROVAL PRIOR TO MANUFACTURING GLAZING. BUILDER AND ARCHITECT MUST BE CONTACTED IMMEDIATELY IF THERE ARE ANY DISCREPANCIES.



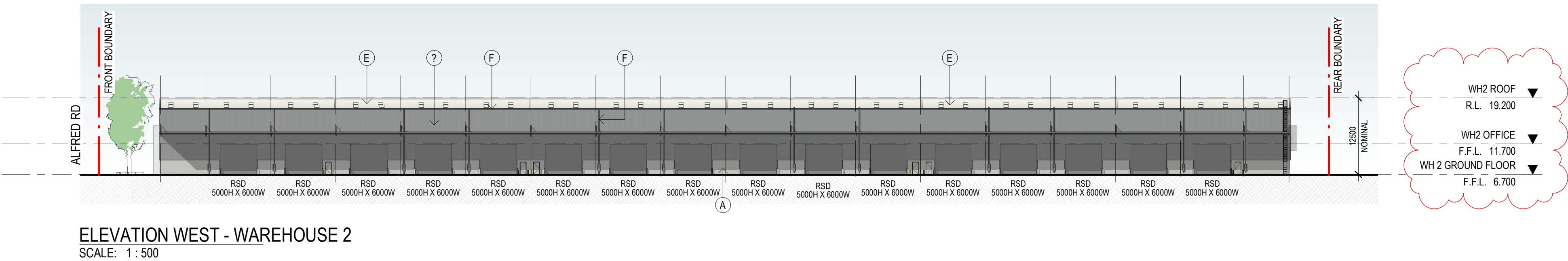
ELEVATION EAST - WAREHOUSE 2
SCALE: 1 : 500



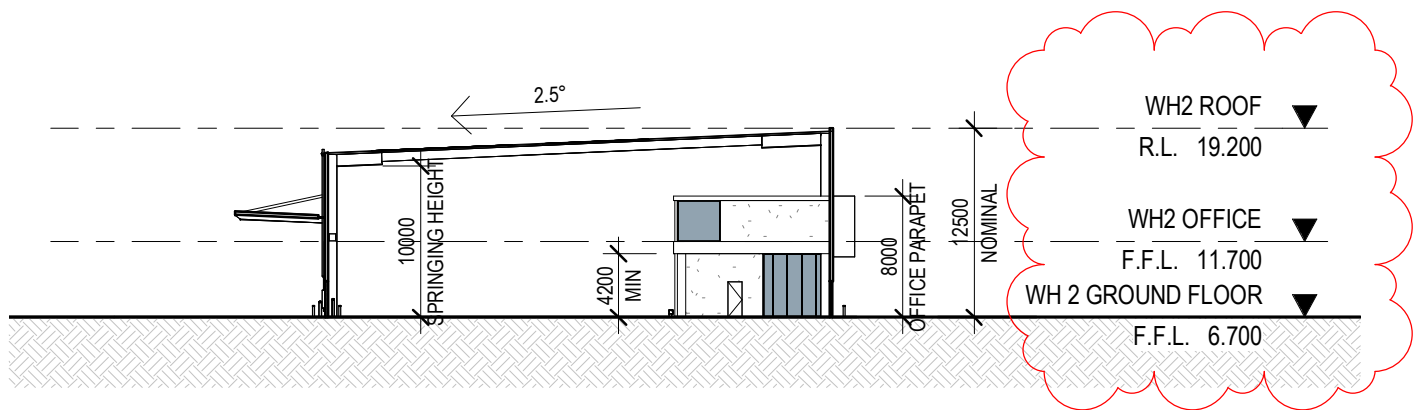
ELEVATION NORTH - WAREHOUSE 2
SCALE: 1 : 500



ELEVATION SOUTH - WAREHOUSE 2
SCALE: 1 : 500



ELEVATION WEST - WAREHOUSE 2
SCALE: 1 : 500



SECTION - WAREHOUSE 2
SCALE: 1 : 500

EXTERNAL FINISHES

(A)	PRECAST CONCRETE PANEL, PAINT FINISH	COLORBOND SHALE GREY
(B)	COLORBOND WALL CLADDING	COLORBOND WINDSPRAY
(C)	COLORBOND WALL CLADDING	COLORBOND BASALT
(D)	COLORBOND WALL CLADDING	COLORBOND SHALE GREY
(E)	ROOF CLADDING	COLORBOND SURFMIST
(F)	GUTTERS, DOWNPIPES	COLORBOND BASALT
(G)	ALUMINIUM CLADDING	BLACK
(H)	ALUMINIUM CLADDING	DARK GREY
(J)	CLEAR GLAZING	TRANSPARENT - LOW REFLECTIVITY
(K)	WINDOW / DOOR FRAMES	DARK GREY
(L)	PA DOOR EXTERNAL CLADDING	COLORBOND SHALE GREY
(M)	SHADING MECHANISM - PERFORATED METAL CLADDING	WHITE
(N)	ALUMINIUM CLADDING	LIGHT GREY

NO.	DATE:	REVISION:	BY:	CHK:
B	18.04.2023	ISSUED FOR APPROVAL	DM	JF
C	26.04.2023	ISSUED FOR APPROVAL	JG	JF
D	17.05.2023	PRELIMINARY ISSUE	JG	JF
E	25.05.2023	ISSUED FOR APPROVAL	JG	JF
F	15.06.2023	ISSUED FOR LODGEMENT	JG	JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 ACN: 111398700
8 Gratton Street Prahran VIC 3181 info@watsonyoung.com.au www.watsonyoung.com.au
© Watson Young Architects. This drawing is protected by copyright.

PROJECT:
PROPOSED DEVELOPMENT
24-40 ALFRED RD, CHIPPING NORTON NSW 2170

TITLE:
ELEVATIONS & SECTIONS -
WAREHOUSE 2

CLIENT:
Aliro

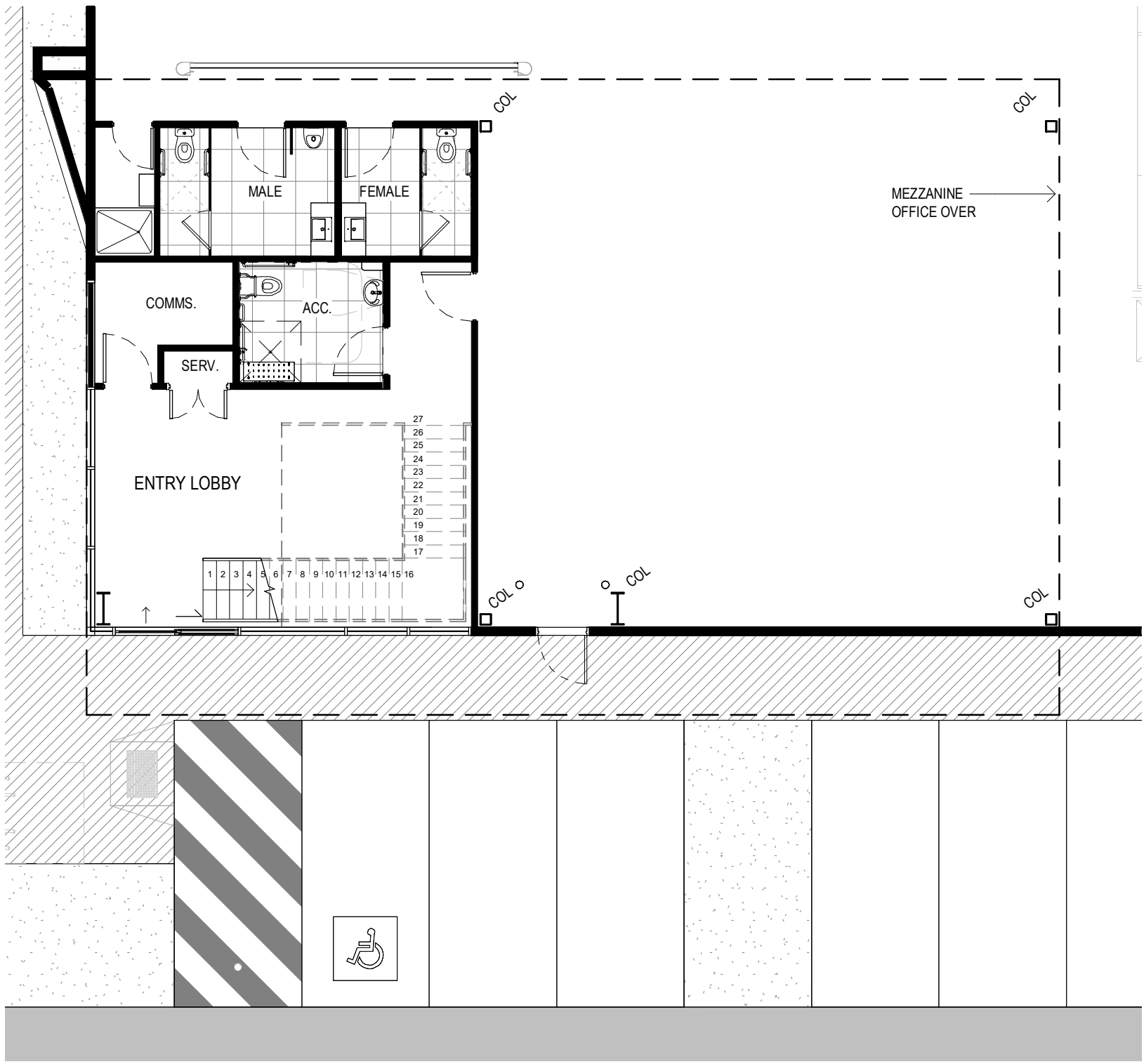
DATE: APRIL, 2023
DRAWN BY: GJ
SCALE: 1 : 500 @A1
SCALE: 1 : 1000 @A3

JOB NO:	21420
DRAWING NO:	DA11
REVISION:	F

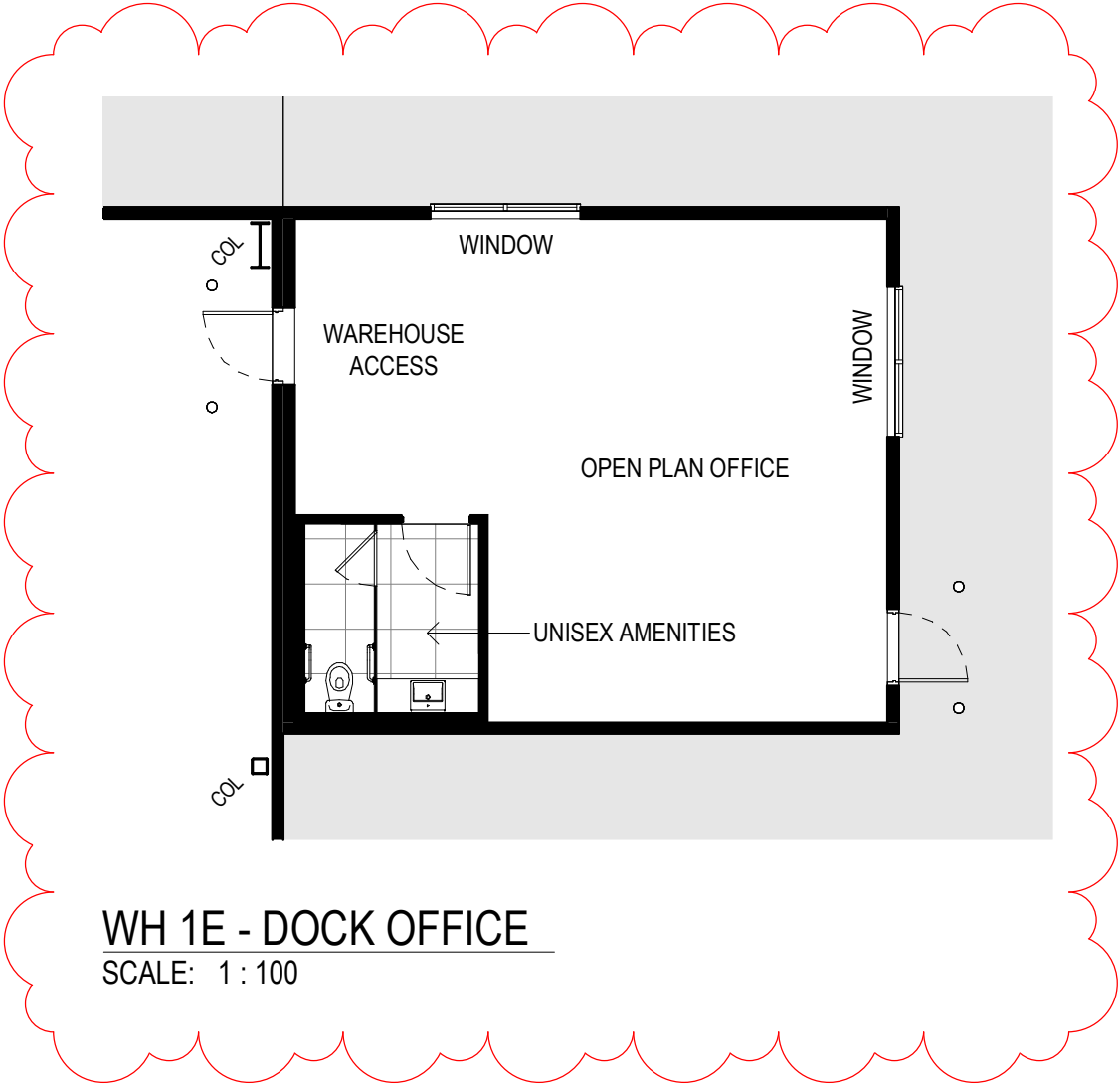
watson young



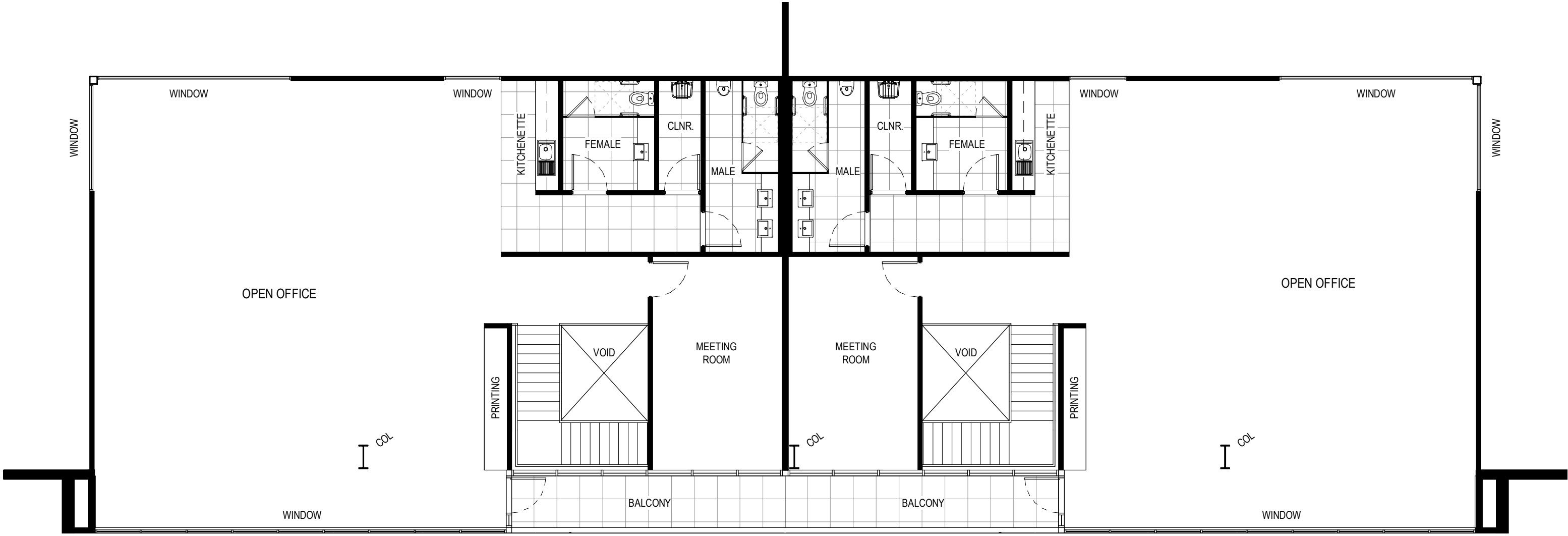
GF OFFICE
SCALE: 1 : 100



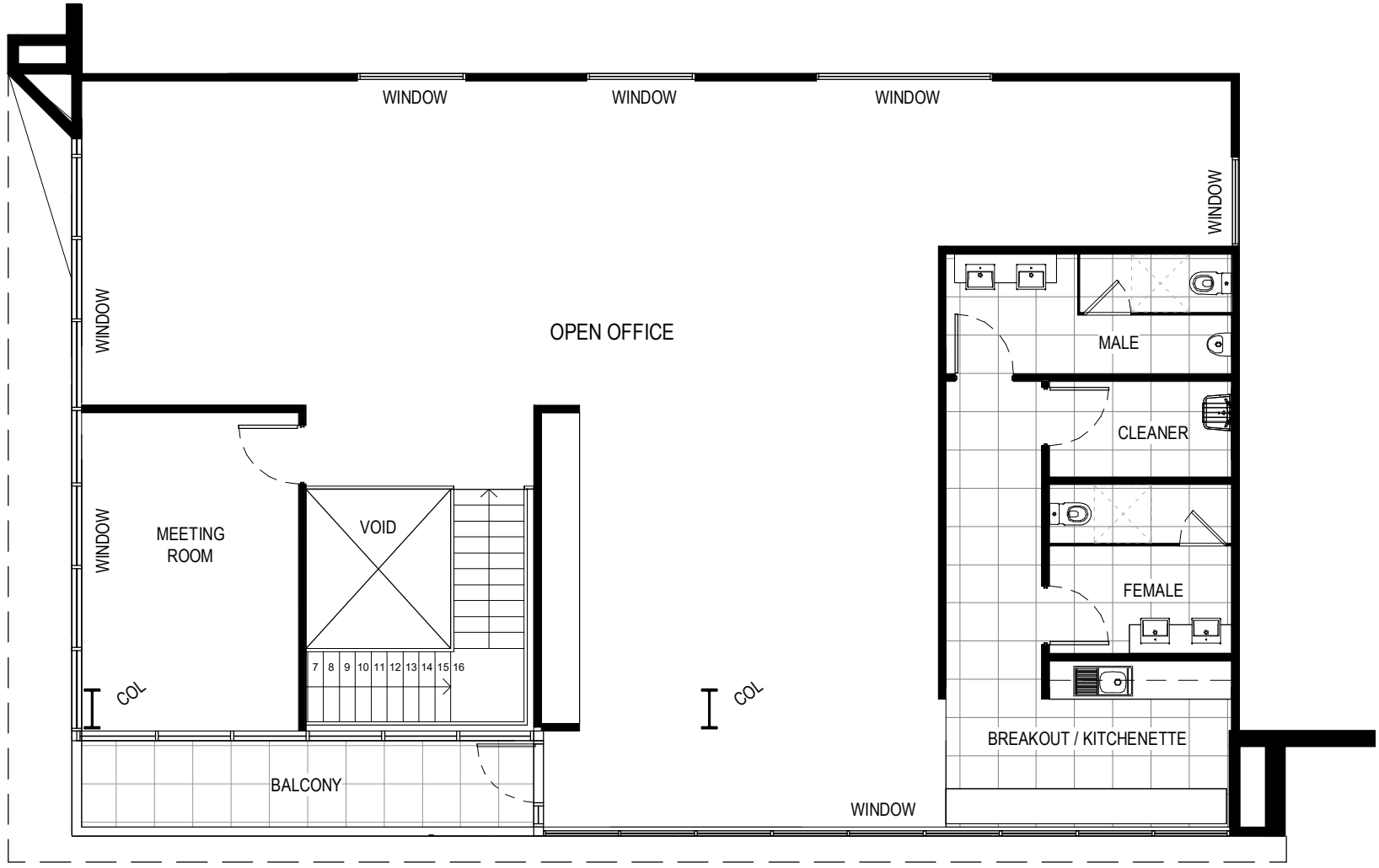
GF OFFICE - CORNER
SCALE: 1 : 100



WH 1E - DOCK OFFICE
SCALE: 1 : 100



MEZZANINE OFFICE
SCALE: 1 : 100



MEZZANINE OFFICE - CORNER
SCALE: 1 : 100

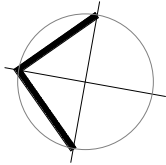
NO.	DATE:	REVISION:	BY:	CHK:
A	30.05.2022	ISSUED FOR APPROVAL	JO	JF
B	18.04.2023	ISSUED FOR APPROVAL	DM	JF
C	26.04.2023	ISSUED FOR APPROVAL	JG	JF
D	25.05.2023	ISSUED FOR APPROVAL	JG	JF
E	15.06.2023	ISSUED FOR LODGEMENT	JG	JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 ACN: 111386700
8 Gratton Street Prahran VIC 3181 info@watsonyoung.com.au www.watsonyoung.com.au
© Watson Young Architects. This drawing is protected by copyright.

PROJECT:
PROPOSED DEVELOPMENT
24-40 ALFRED RD, CHIPPING NORTON NSW 2170

TITLE:
PROPOSED OFFICE PLAN
TYPICAL - WAREHOUSE 1

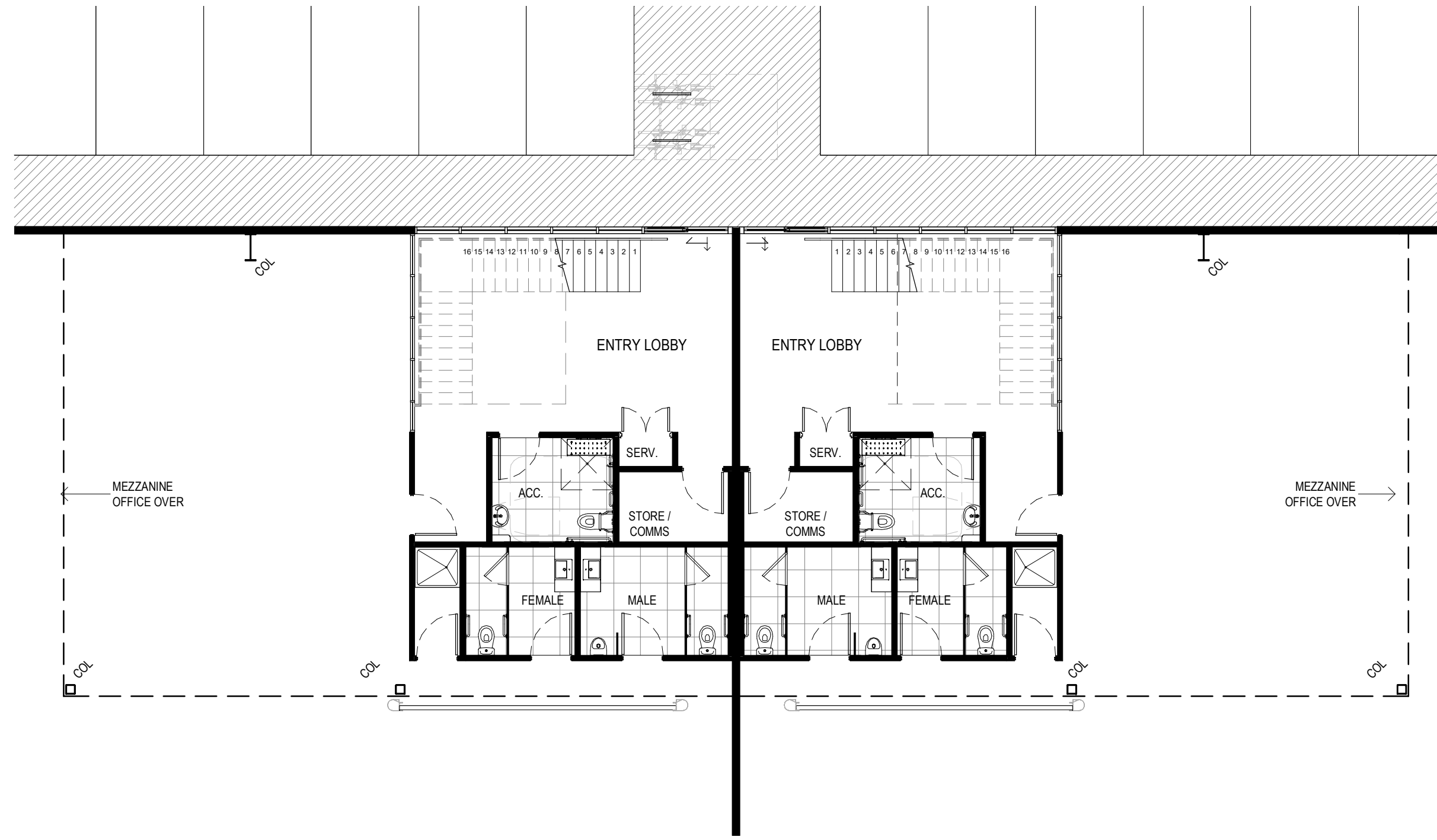


CLIENT:
Aliro

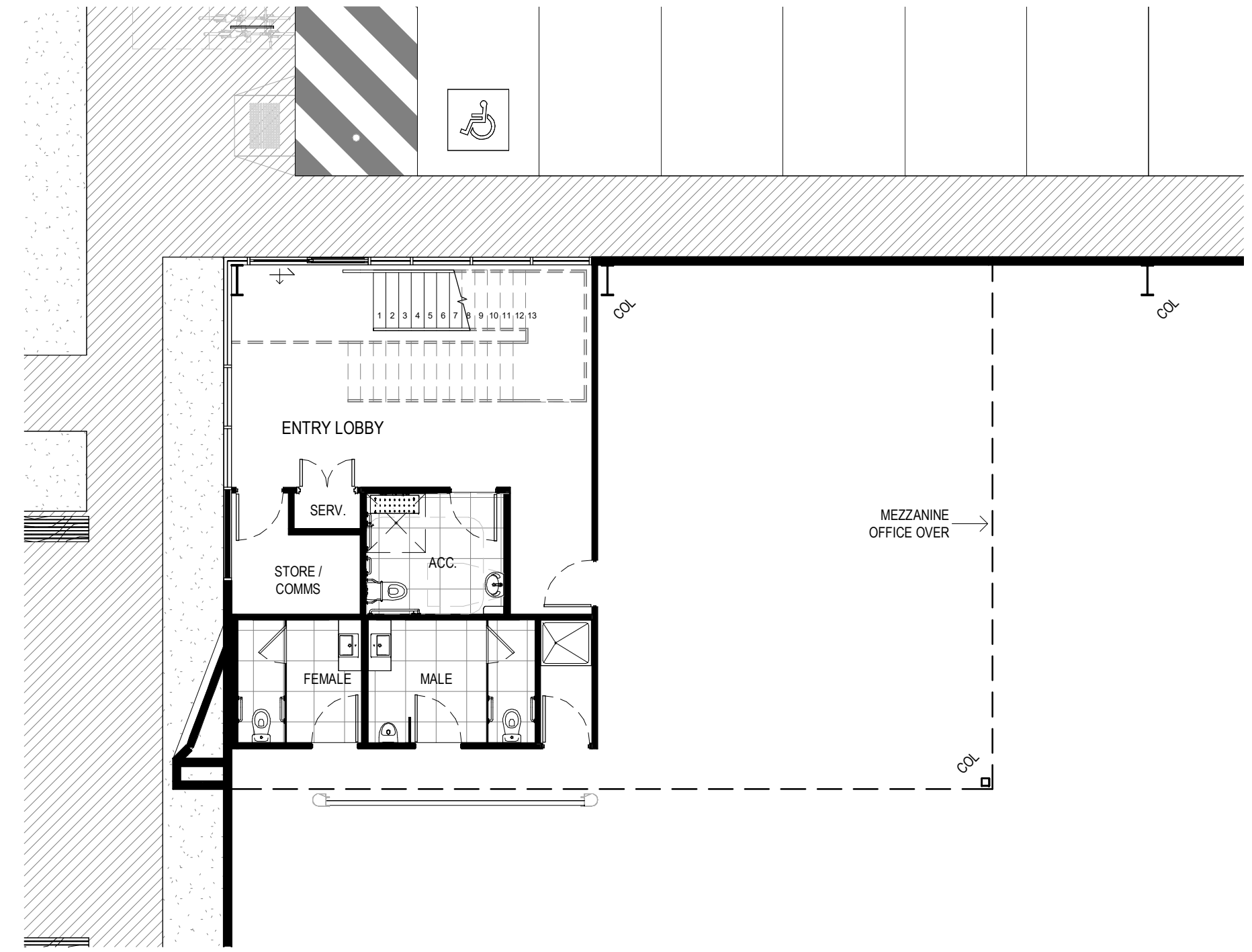
DATE: APRIL, 2023
DRAWN BY: GJ
SCALE: 1 : 100@A1
SCALE: 1 : 200 @A3

JOB NO:	21420
DRAWING NO:	DA12
REVISION:	E

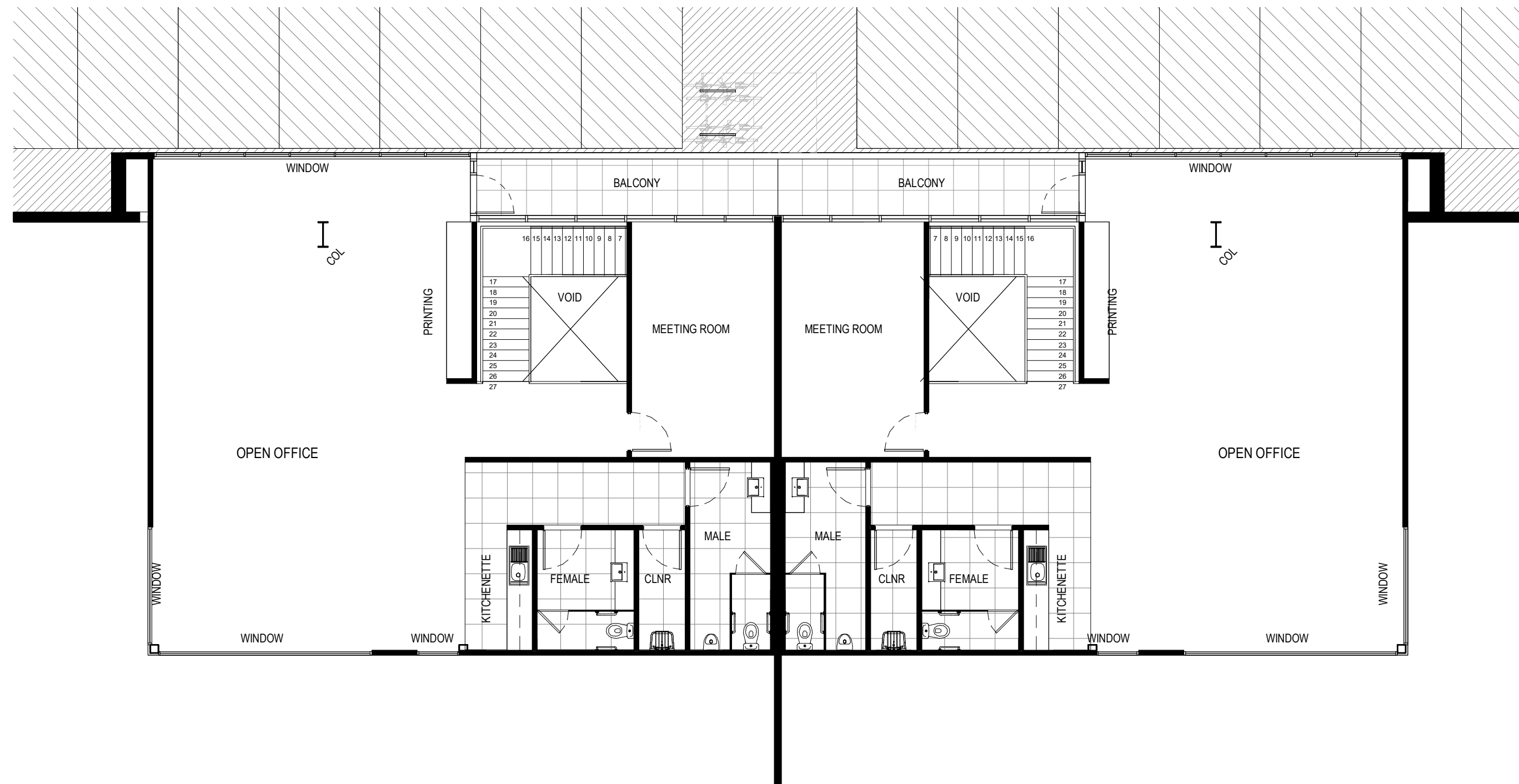
**watson
young**



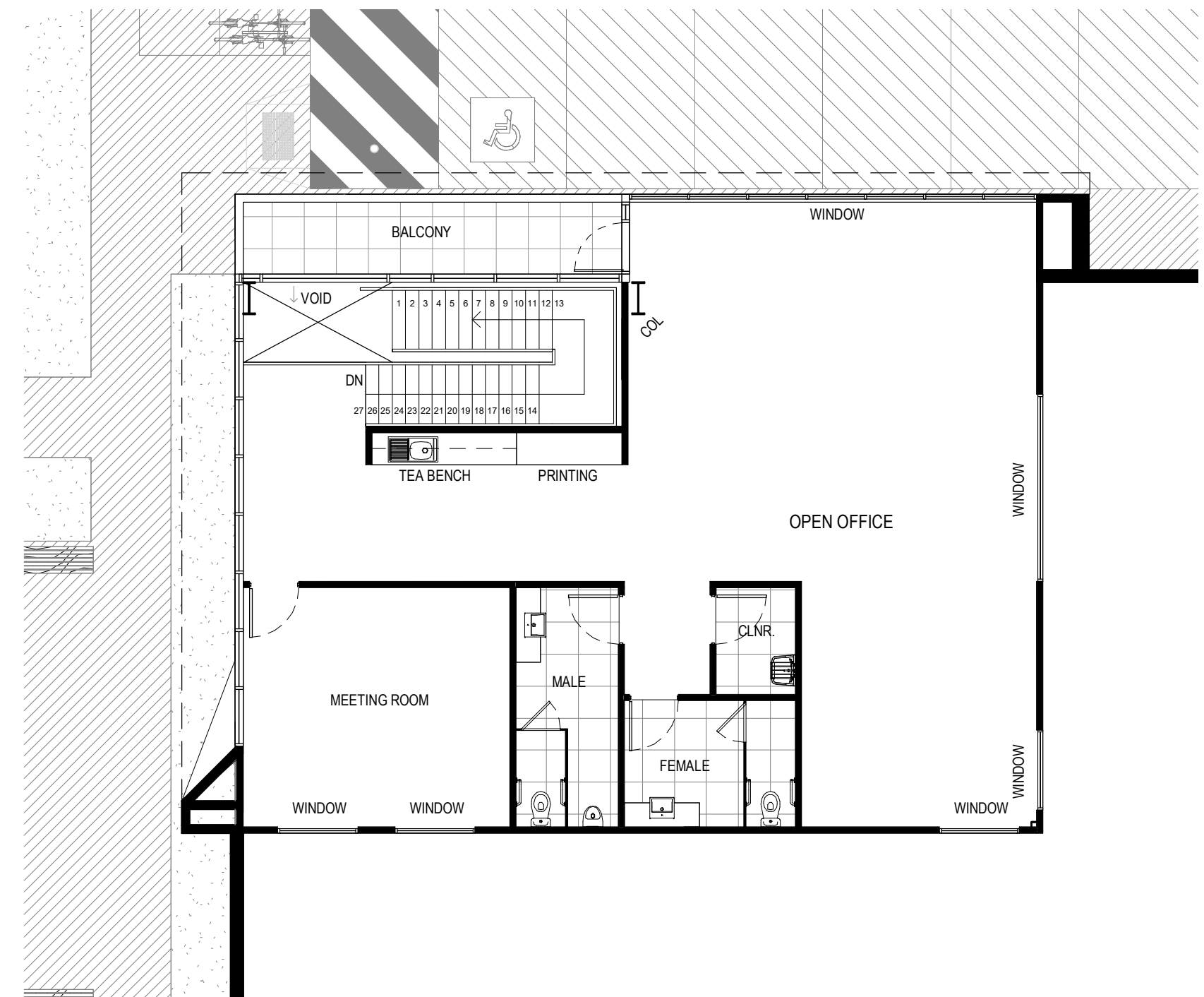
GF OFFICE - WH2
SCALE: 1 : 100



GF OFFICE - CORNER - WH2
SCALE: 1 : 100



MEZZANINE OFFICE - WH2
SCALE: 1 : 100



MEZZANINE OFFICE - CORNER - WH2
SCALE: 1 : 100

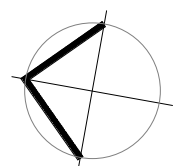
NO.	DATE:	REVISION:	BY:	CHK:
A	30.05.2022	ISSUED FOR APPROVAL	JO	JF
B	18.04.2023	ISSUED FOR APPROVAL	DM	JF
C	26.04.2023	ISSUED FOR APPROVAL	JG	JF
D	25.05.2023	ISSUED FOR APPROVAL	JG	JF
E	15.06.2023	ISSUED FOR LODGEMENT	JG	JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 ACN: 111388700
8 Gratton Street Prahran VIC 3181 info@watsonyoung.com.au www.watsonyoung.com.au
© Watson Young Architects. This drawing is protected by copyright.

PROJECT:
PROPOSED DEVELOPMENT
24-40 ALFRED RD, CHIPPING NORTON NSW 2170

TITLE:
PROPOSED OFFICE PLAN
TYPICAL - WAREHOUSE 2

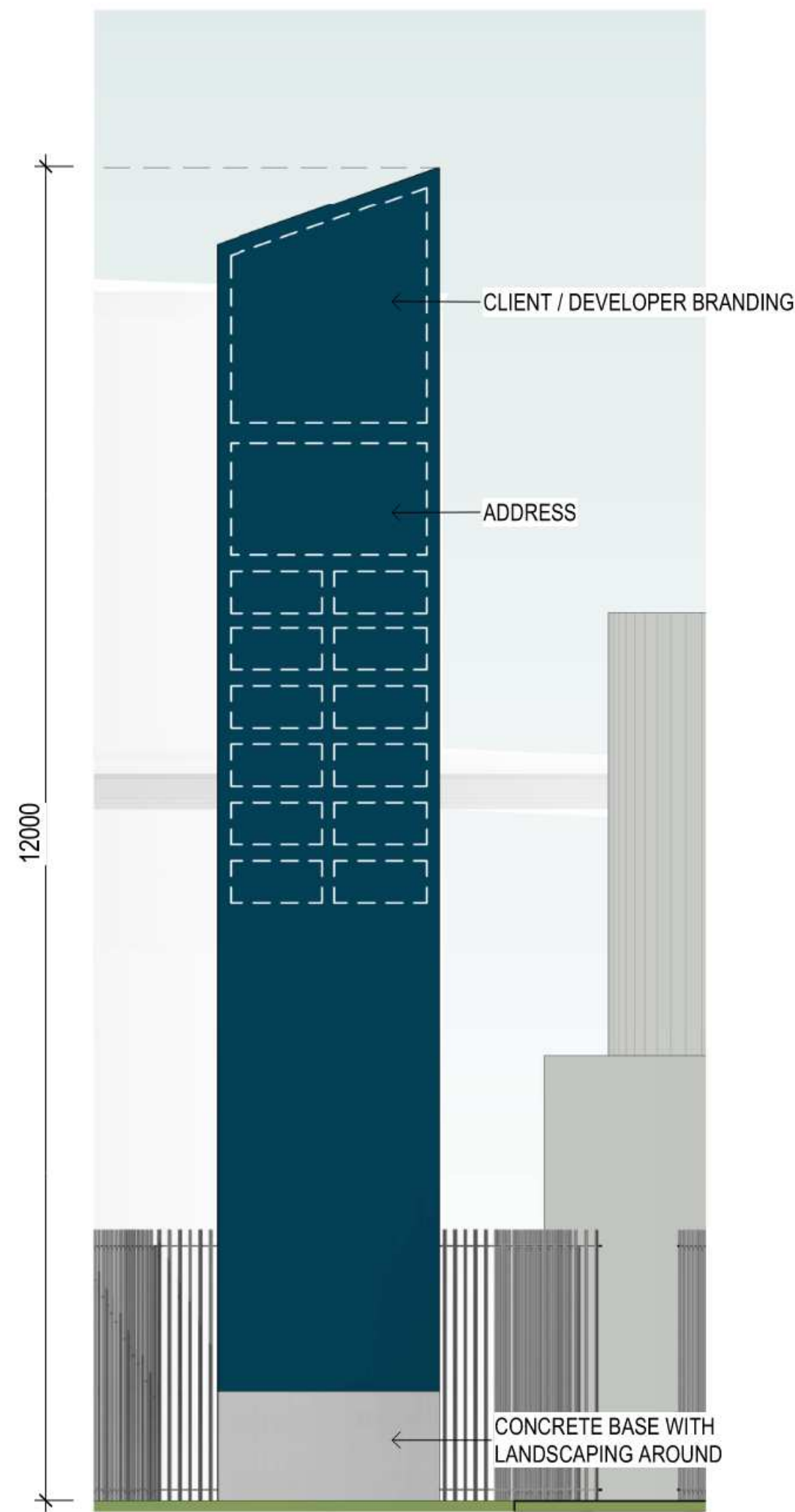


CLIENT:
Aliro

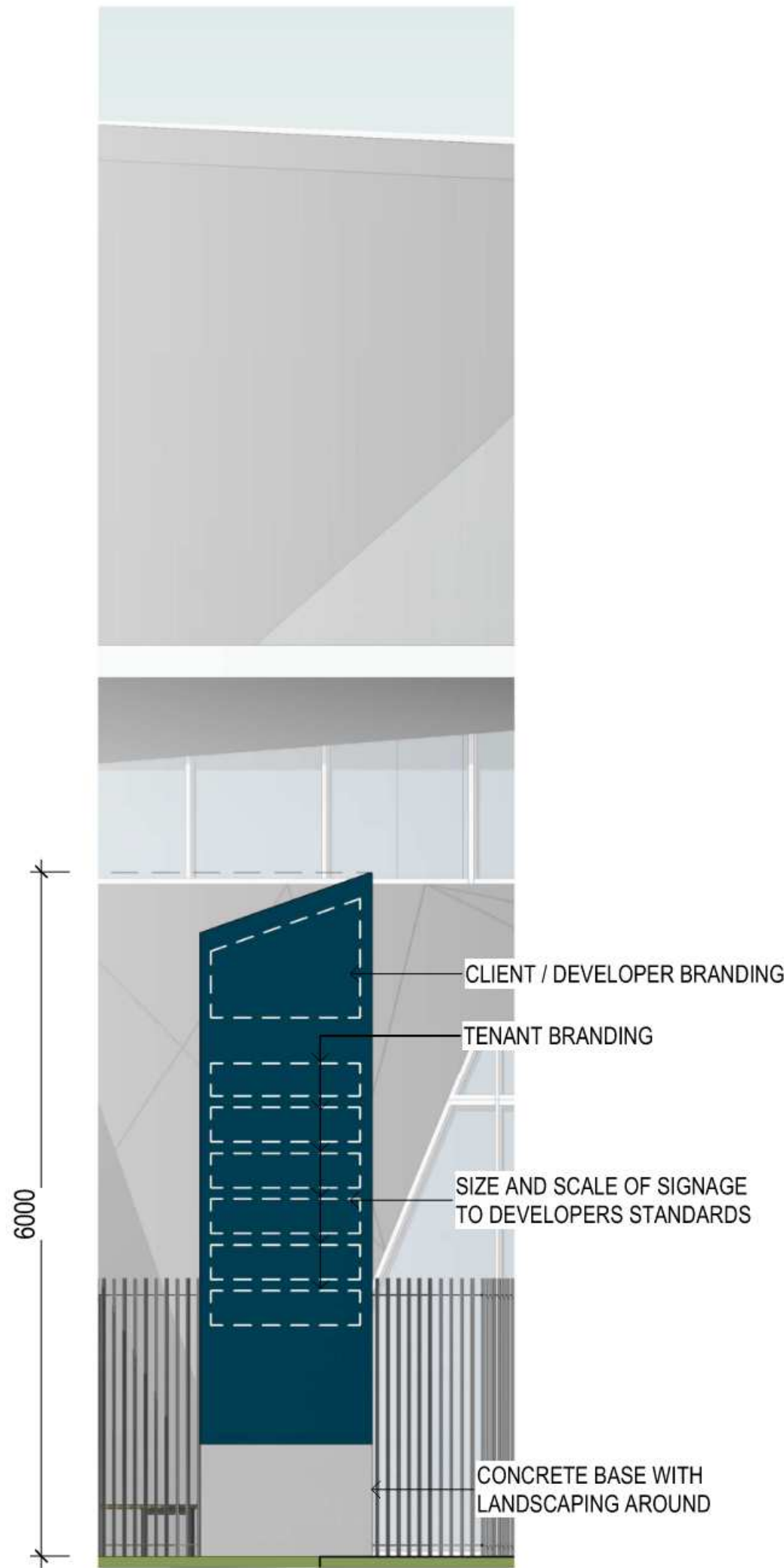
DATE: APRIL, 2023
DRAWN BY: DM
SCALE: 1 : 100 @A1
SCALE: 1 : 200 @A3

JOB NO:
21420
DRAWING NO:
DA13
REVISION:
E

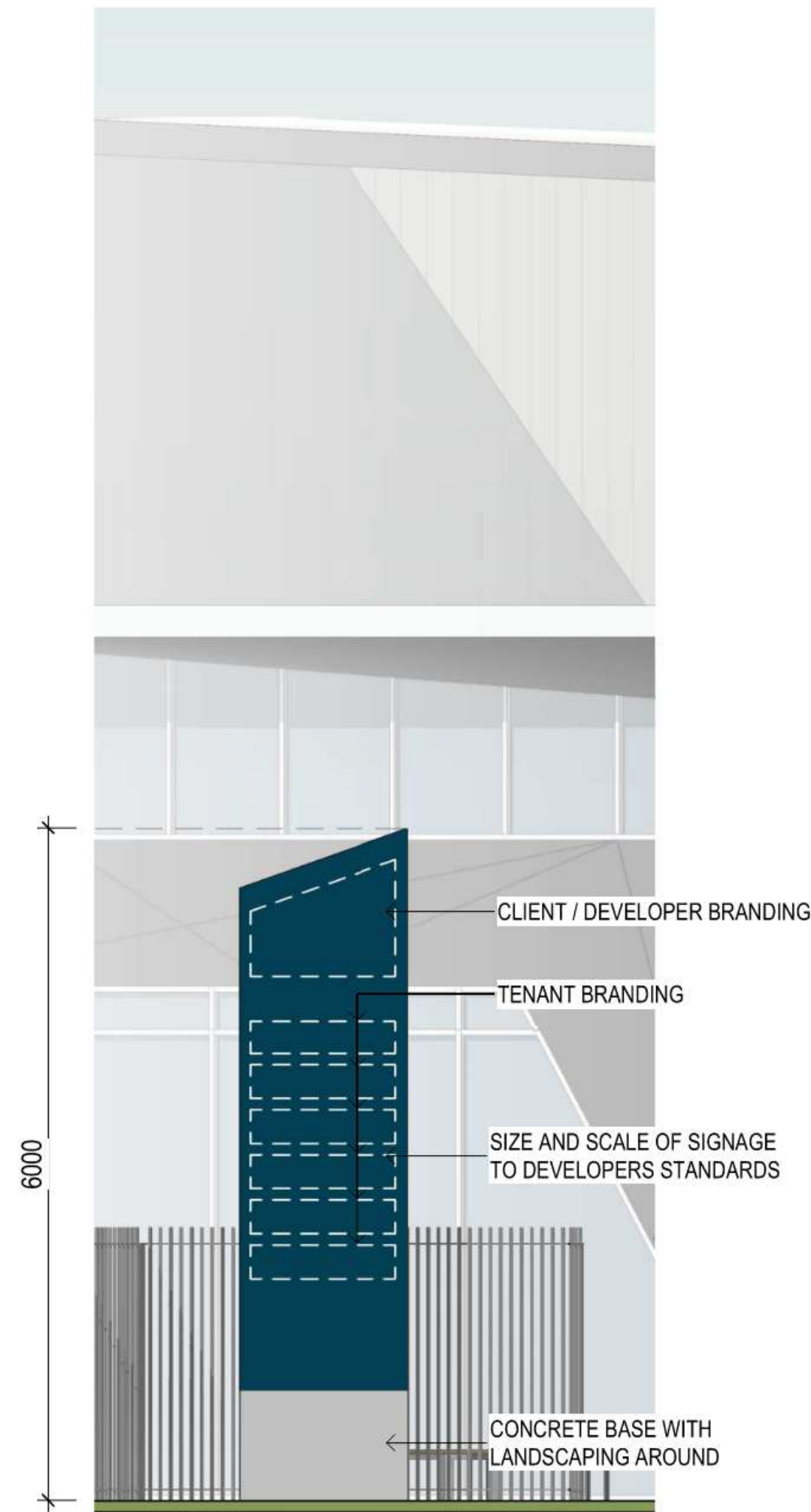
watson young



DEVELOPMENT MAIN IDENTIFICATION PYLON SIGN (ILLUMINATED)
NORTH TRUCK ENTRY/EXIT



WAREHOUSE 1 IDENTIFICATION PYLON SIGN (ILLUMINATED)
NORTH-WEST CAR ENTRY/EXIT



WAREHOUSE 2 IDENTIFICATION PYLON SIGN
NORTH-EAST CAR ENTRY/EXIT

NO.	DATE:	REVISION:	BY:	CHK:
C	08.06.2022	ISSUED FOR APPROVAL	AS	JF
D	18.04.2023	ISSUED FOR APPROVAL	DM	JF
E	26.04.2023	ISSUED FOR APPROVAL	JG	JF
F	25.05.2023	ISSUED FOR APPROVAL	JG	JF
G	15.06.2023	ISSUED FOR LODGEMENT	JG	JF

All areas indicated are indicative for design and planning purposes only and should not be used for any contractual reasons without verification by a licensed surveyor or further design development being completed.

Watson Young Architects P/L Melbourne | Perth | Sydney 03 9516 8555 ACN: 111398700
8 Gratlam Street Prahran VIC 3181 info@watsonyoung.com.au www.watsonyoung.com.au
© Watson Young Architects. This drawing is protected by copyright.

PROJECT:
PROPOSED DEVELOPMENT
24-40 ALFRED RD, CHIPPING NORTON NSW 2170

TITLE:
TYPICAL PYLON SIGNAGE
DETAILS

CLIENT:
Aliro

DATE: APRIL, 2023
DRAWN BY: DM
SCALE: NTS @A1
SCALE: NTS @A3

JOB NO:	21420
DRAWING NO:	DA14
REVISION:	G

**watson
young**

Industrial Development

24-40 Alfred Road, Chipping Norton NSW 2170

Development Application

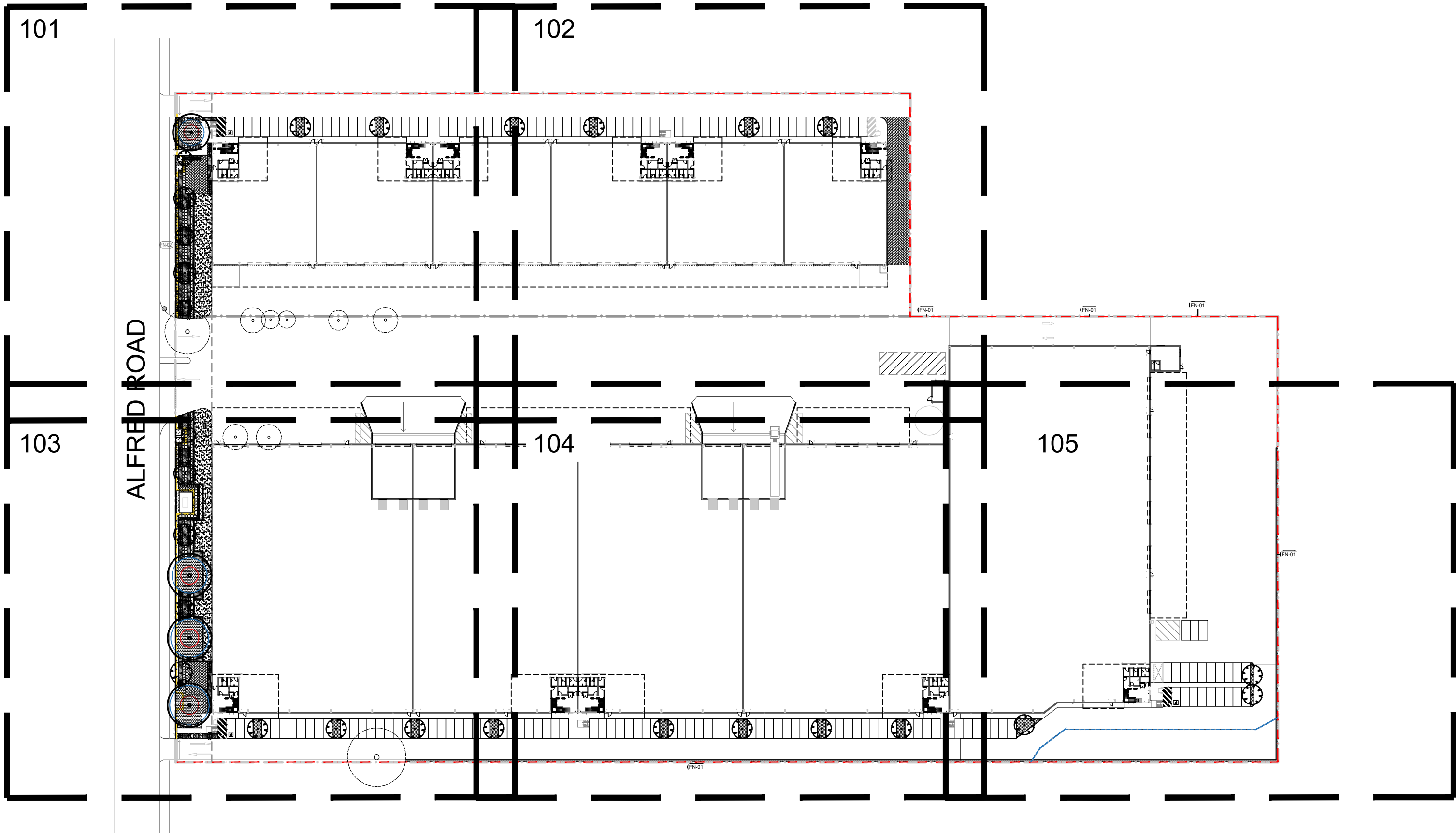
© 2021 Site Image (NSW) Pty Ltd ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

Drawing Schedule

Drawing Number	Drawing Title	Scale
000	Landscape Coversheet	N/A
101	Landscape Plan	1:200
102	Landscape Plan	1:200
103	Landscape Plan	1:200
104	Landscape Plan	1:200
105	Landscape Plan	1:200
501	Landscape Details	As Shown

Plant Schedule							
	Botanic Name	Common Name	Mature Size	Native / Exotic	Pot Size	Density	Qty
GROUND FLOOR							
TREES							
Bc	<i>Backhousia citriodora</i>	Lemon Myrtle	20 x 5	N	100L	As Shown	2
Ca	<i>Cupaniopsis anacardioides</i>	Tuckeroo	8 x 7	N	100L	As Shown	17
Fg	<i>Fraxinus griffithii</i>	Evergreen Ash	8 x 4	E	100L	As Shown	3
TI	<i>Tristaniopsis laurina</i>	Water Gum	15 x 6	N	100L	As Shown	5
SHRUBS & ACCENTS							
AsM	<i>Acmena smithii</i> Minor	Dwarf Lilly Pilly	3 x 2	N	300mm	As Shown	125
De	<i>Doryanthes excelsa</i>	Gynea Lily	2 x 2	N	300mm	As Shown	4
Mpa	<i>Murraya paniculata</i>	Orange Jessamine	3 x 1.5	N	300mm	As Shown	20
WFZ	<i>Westringia fruticosa</i> 'Zena'	Coastal Rosemary	0.9 x 0.9	N	300mm	As Shown	426
GRASSES & GROUND COVERS							
Gt	<i>Gazania tomentosa</i>	Silver Gazania	0.3 x 1	N	150mm	5/m2	39
LI	<i>Lomandra longifolia</i>	Basket Grass	1 x 0.6	N	150mm	5/m2	349
Mp	<i>Myoporum parvifolium</i>	Creeping Boobialla	0.3 x 2	N	150mm	5/m2	1332
PE	<i>Poa labillardieri</i> 'Eskdale'	Tussock Grass	0.4 x 0.4	N	150mm	5/m2	330
Ps	<i>Pennisetum setaceum</i>	Fountain Grass	1.5 x 1	N	150mm	5/m2	90
Ta	<i>Themeda australis</i>	Kangaroo Grass	0.7 x 0.5	N	150mm	5/m2	79
TJ	<i>Trachelospermum jasminoides</i>	Star Jasmine	0.5 x 1	E	150mm	5/m2	328



Site Plan | Scale 1:1000

I	Architectural Coordination	CS	NM	04.05.2023
H	Architectural Coordination	CS	NM	02.05.2023
G	Architectural Coordination	CS	NM	20.04.2023
F	Architectural Coordination	CS	NM	19.04.2023
E	Refer to Comments	RH	NM	06.06.2022
D	Address Updated	RH	NM	27.05.2022
C	Architectural Coordination	RH	NM	26.05.2022
B	Architectural Coordination	RH	NM	06.05.2022
A	For Comment	RH	NM	16.03.2022
Issue	Revision Description	Drawn	Check	Date

Legend

Client
Aliro Aliro

Project
24-40 Alfred Road
Chipping Norton
NSW 2170

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Site Image (NSW) Pty Ltd
ABN 44 801 262 380

S I T E I M A G E



Landscape Architects

PRELIMINARY

Drawing Name
Landscape Coversheet

Scale
Job Number
Drawing Number
Issue

SS22-4889

000 I

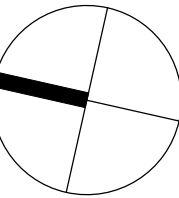
NOT FOR CONSTRUCTION

© 2021 Site Image (NSW) Pty Ltd ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

G	Architectural Coordination	CS	NM	02.05.2023
F	Architectural Coordination	CS	NM	19.04.2023
E	Refer to Comments	RH	NM	09.06.2022
D	Address Updated	RH	NM	27.05.2022
C	Architectural Coordination	RH	NM	26.05.2022
B	Architectural Coordination	RH	NM	06.05.2022
A	For Comment	RH	NM	16.03.2022
Issue	Revision Description	Drawn	Check	Date

- Legend**
- Site Boundary
 - Drainage Easement
(Refer to Architects Drawing)
 - Existing Trees to be retained
(Refer to Arborist Report)
 - Existing Trees to be removed
(Refer to Arborist Report)
 - TPZ
(Refer to Arborist Report)
 - SRZ
(Refer to Arborist Report)
 - Proposed Trees
(Refer to Planting Schedule)
 - Proposed Shrubs & Accents
(Refer to Planting Schedule)
 - Proposed Groundcover
(Refer to Planting Schedule)
 - Muluch
(Refer to Landscape Details)
 - Turf
(Refer to Landscape Details)
 - Permeable Paving
Refer to Landscape Details
 - Concrete Edge
Refer to Landscape Details
 - Steel Diplomat/ Palisade Fence
(Refer to Architects Drawing)
 - Cyclone Wire Fence
(Refer to Architects Drawing)



Client
Aliro Aliro

Project
24-40 Alfred Road
Chipping Norton
NSW 2170

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Site Image (NSW) Pty Ltd
ABN 44 801 262 380

S I T E I M A G E



Landscape Architects

PRELIMINARY

Drawing Name

Landscape Plan

Scale 1:200 @ A1

Job Number

SS22-4889

0 1 2 4 6 10m

Drawing Number

ALFRED ROAD

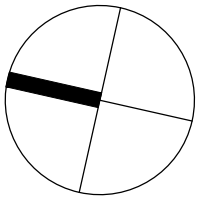
For continuation refer 102

For continuation refer 103

NOT FOR CONSTRUCTION

G	Architectural Coordination	CS	NM	02.05.2023
F	Architectural Coordination	CS	NM	19.04.2023
E	Refer to Comments	RH	NM	09.06.2022
D	Address Updated	RH	NM	27.05.2022
C	Architectural Coordination	RH	NM	26.05.2022
B	Architectural Coordination	RH	NM	06.05.2022
A	For Comment	RH	NM	16.03.2022
Issue	Revision Description	Drawn	Check	Date

- Legend**
- Site Boundary
 - Drainage Easement
(Refer to Architects Drawing)
 - Existing Trees to be retained
(Refer to Arborist Report)
 - Existing Trees to be removed
(Refer to Arborist Report)
 - TPZ
(Refer to Arborist Report)
 - SRZ
(Refer to Arborist Report)
 - Proposed Trees
(Refer to Planting Schedule)
 - Proposed Shrubs & Accents
(Refer to Planting Schedule)
 - Proposed Groundcover
(Refer to Planting Schedule)
 - Muluch
(Refer to Landscape Details)
 - Turf
(Refer to Landscape Details)
 - Permeable Paving
Refer to Landscape Details
 - Concrete Edge
Refer to Landscape Details
 - Steel Diplomat/ Palisade Fence
(Refer to Architects Drawing)
 - Cyclone Wire Fence
(Refer to Architects Drawing)



Client
Aliro Aliro

Project
24-40 Alfred Road
Chipping Norton
NSW 2170

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia
Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au
Site Image (NSW) Pty Ltd
ABN 44 801 262 380



PRELIMINARY

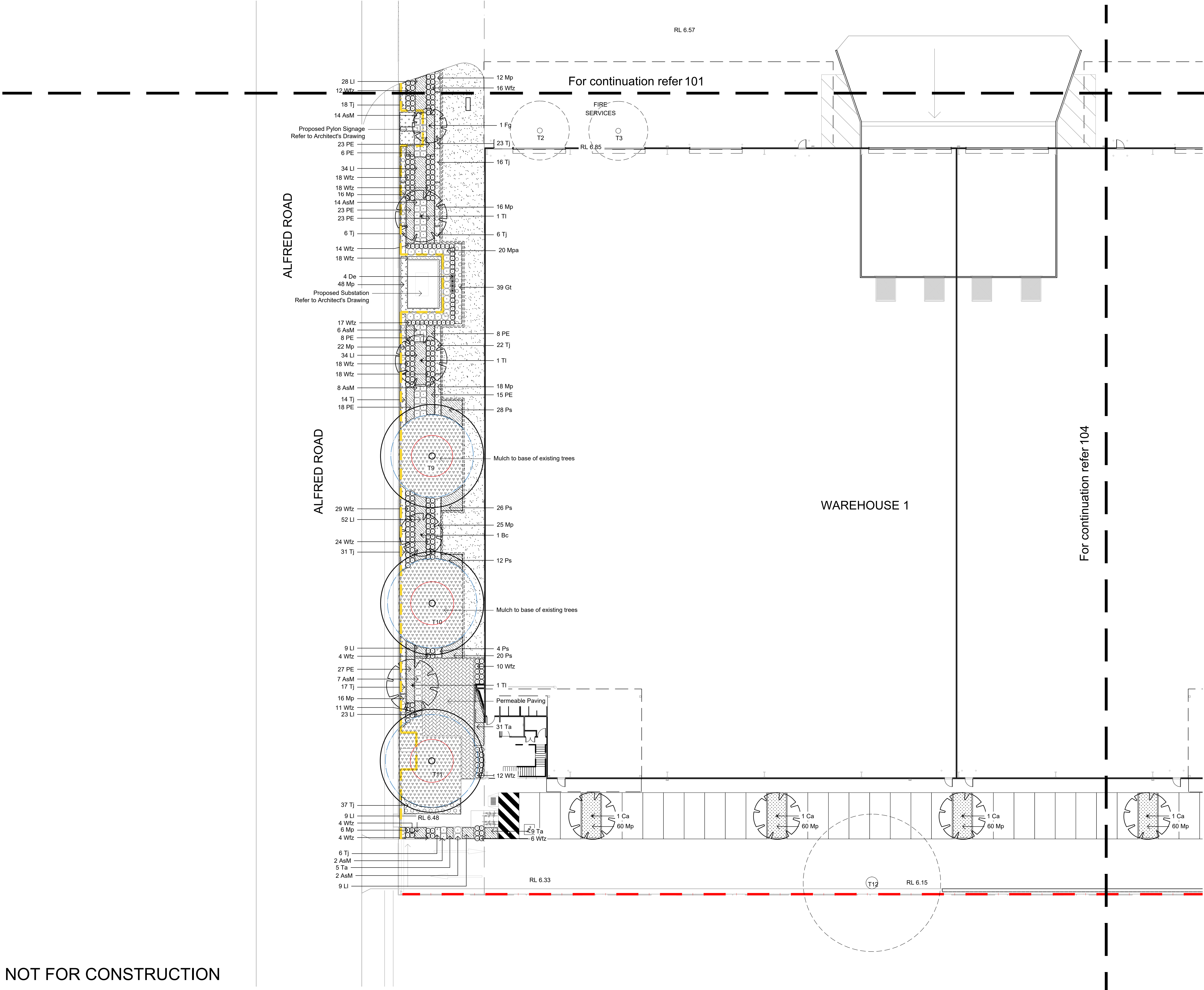
Drawing Name
Landscape Plan

Scale 1:200 @ A1
Job Number

0 1 2 4 6 10m
Drawing Number Issue

SS22-4889

102 G

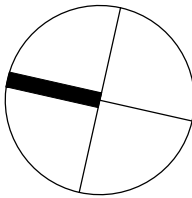


© 2021 Site Image (NSW) Pty Ltd ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

G	Architectural Coordination	CS	NM	02.05.2023
F	Architectural Coordination	CS	NM	19.04.2023
E	Refer to Comments	RH	NM	09.06.2022
D	Address Updated	RH	NM	27.05.2022
C	Architectural Coordination	RH	NM	26.05.2022
B	Architectural Coordination	RH	NM	06.05.2022
A	For Comment	RH	NM	16.03.2022
Issue	Revision Description	Drawn	Check	Date

- Legend**
- Site Boundary
 - Drainage Easement (Refer to Architects Drawing)
 - Existing Trees to be retained (Refer to Arborist Report)
 - Existing Trees to be removed (Refer to Arborist Report)
 - TPZ (Refer to Arborist Report)
 - SRZ (Refer to Arborist Report)
 - Proposed Trees (Refer to Planting Schedule)
 - Proposed Shrubs & Accents (Refer to Planting Schedule)
 - Proposed Groundcover (Refer to Planting Schedule)
 - Muluch (Refer to Landscape Details)
 - Turf (Refer to Landscape Details)
 - Permeable Paving Refer to Landscape Details
 - Concrete Edge Refer to Landscape Details
 - Steel Diplomat/ Palisade Fence (Refer to Architects Drawing)
 - Cyclone Wire Fence (Refer to Architects Drawing)



Client
Aliro Aliro

Project
24-40 Alfred Road
Chipping Norton
NSW 2170

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Site Image (NSW) Pty Ltd
ABN 44 801 262 380

S I T E I M A G E



Landscape Architects

PRELIMINARY

Drawing Name
Landscape Plan

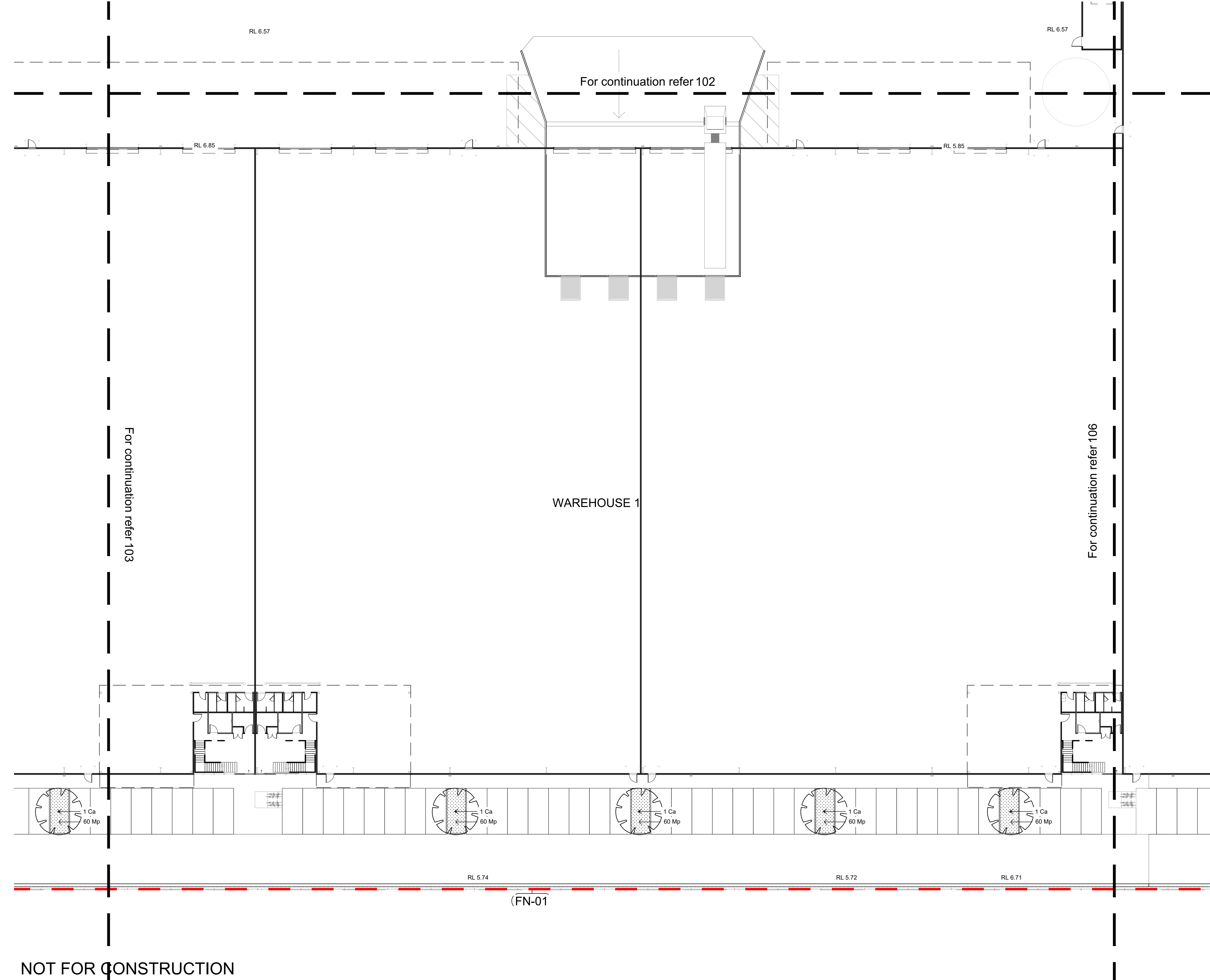
Scale 1:200 @ A1
Job Number

0 1 2 4 6 10m
Drawing Number Issue

SS22-4889

103 G

NOT FOR CONSTRUCTION



© 2021 Site Image (NSW) Pty Ltd ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

G	Architectural Coordination	CS	NM	02.05.2023
F	Architectural Coordination	CS	NM	19.04.2023
E	Refer to Comments	RH	NM	09.06.2022
D	Address Updated	RH	NM	27.05.2022
C	Architectural Coordination	RH	NM	26.05.2022
B	Architectural Coordination	RH	NM	06.05.2022
A	For Comment	RH	NM	16.03.2022
Issue	Revision Description	Drawn	Check	Date

- Legend**
- Site Boundary
 - Drainage Easement
(Refer to Architects Drawing)
 - Existing Trees to be retained
(Refer to Arborist Report)
 - Existing Trees to be removed
(Refer to Arborist Report)
 - TPZ
(Refer to Arborist Report)
 - SRZ
(Refer to Arborist Report)
 - Proposed Trees
(Refer to Planting Schedule)
 - Proposed Shrubs & Accents
(Refer to Planting Schedule)
 - Proposed Groundcover
(Refer to Planting Schedule)
 - Muluch
(Refer to Landscape Details)
 - Turf
(Refer to Landscape Details)
 - Permeable Paving
Refer to Landscape Details
 - Concrete Edge
Refer to Landscape Details
 - Steel Diplomat/ Palisade Fence
(Refer to Architects Drawing)
 - Cyclone Wire Fence
(Refer to Architects Drawing)

Client

Aliro Aliro

Project

24-40 Alfred Road
Chipping Norton
NSW 2170

SITE IMAGE

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Site Image (NSW) Pty Ltd
ABN 44 801 262 380

Landscape Architects

PRELIMINARY

Drawing Name

Landscape Plan

Scale 1:200 @ A1

Job Number

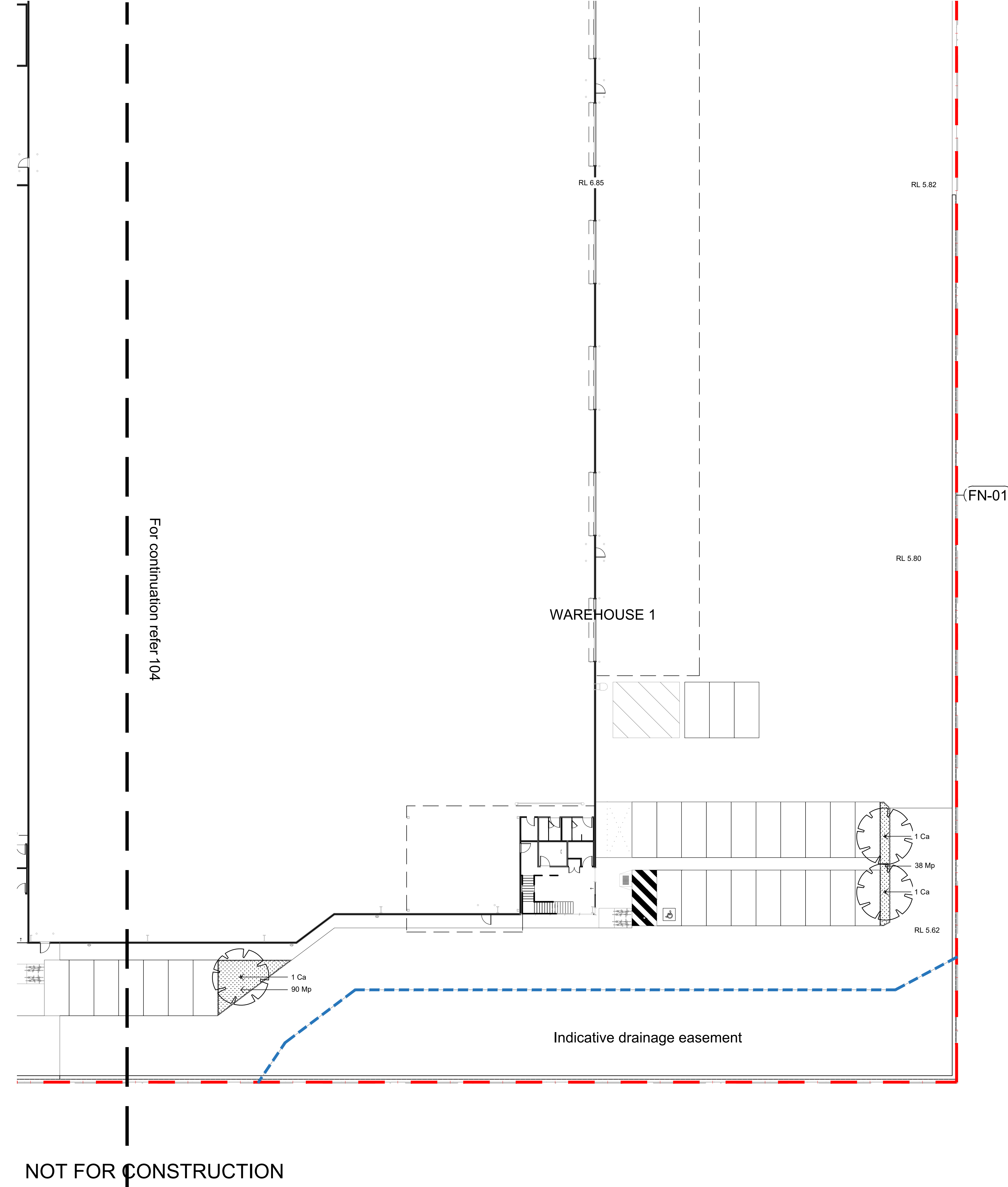
SS22-4889

Drawing Number

104

Issue

G

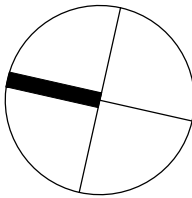


© 2021 Site Image (NSW) Pty Ltd ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

I	Architectural Coordination	CS	NM	04.05.2023
H	Architectural Coordination	CS	NM	02.05.2023
G	Architectural Coordination	CS	NM	20.04.2023
F	Architectural Coordination	CS	NM	19.04.2023
E	Refer to Comments	NM	NM	09.06.2022
D	Address Updated	RH	NM	27.05.2022
C	Architectural Coordination	RH	NM	26.05.2022
B	Architectural Coordination	RH	NM	06.05.2022
A	For Comment	RH	NM	16.03.2022
Issue	Revision Description	Drawn	Check	Date

- Legend**
- Site Boundary
 - Drainage Easement
(Refer to Architects Drawing)
 - Existing Trees to be retained
(Refer to Arborist Report)
 - Existing Trees to be removed
(Refer to Arborist Report)
 - TPZ
(Refer to Arborist Report)
 - SRZ
(Refer to Arborist Report)
 - Proposed Trees
(Refer to Planting Schedule)
 - Proposed Shrubs & Accents
(Refer to Planting Schedule)
 - Proposed Groundcover
(Refer to Planting Schedule)
 - Muluch
(Refer to Landscape Details)
 - Turf
(Refer to Landscape Details)
 - Permeable Paving
Refer to Landscape Details
 - Concrete Edge
Refer to Landscape Details
 - Steel Diplomat/ Palisade Fence
(Refer to Architects Drawing)
 - Cyclone Wire Fence
(Refer to Architects Drawing)



Client

Aliro Aliro

Project

24-40 Alfred Road
Chipping Norton
NSW 2170

S I T E I M A G E

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Site Image (NSW) Pty Ltd
ABN 44 801 262 380

Landscape Architects

PRELIMINARY

Drawing Name

Landscape Plan

Scale 1:200 @ A1

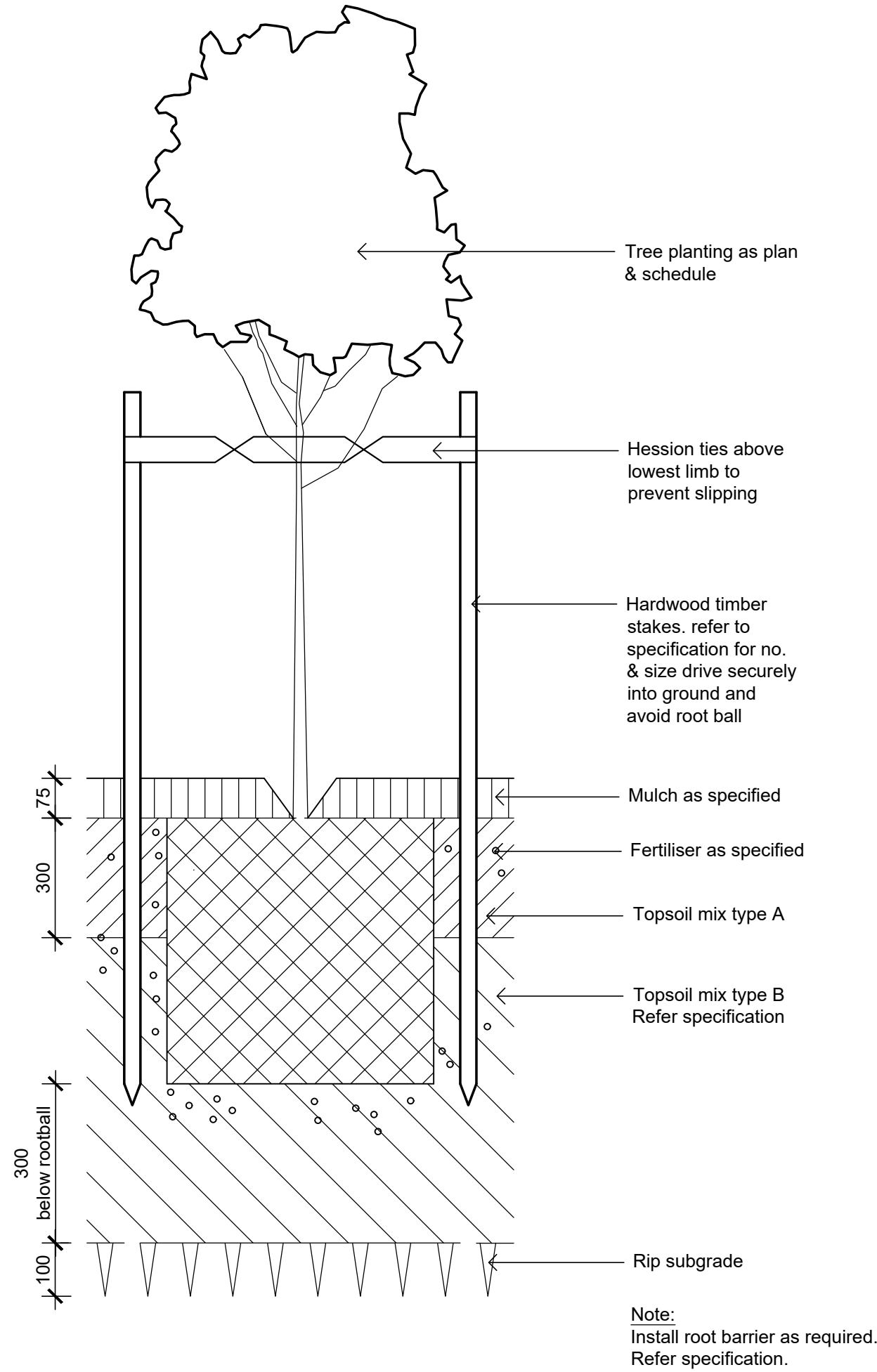
Job Number

Drawing Number

Issue

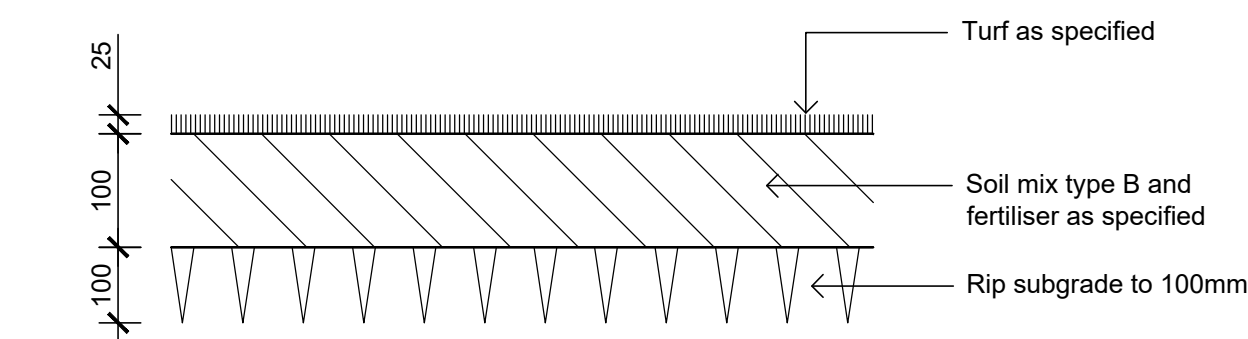
Detail 75-200L Tree Planting on Grade

1:10



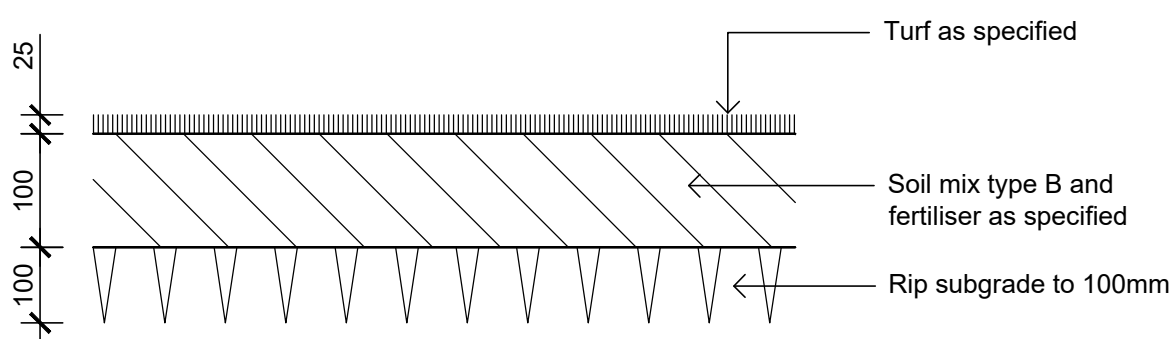
Detail Shrub Accent & Groundcover Planting on Grade

1:10



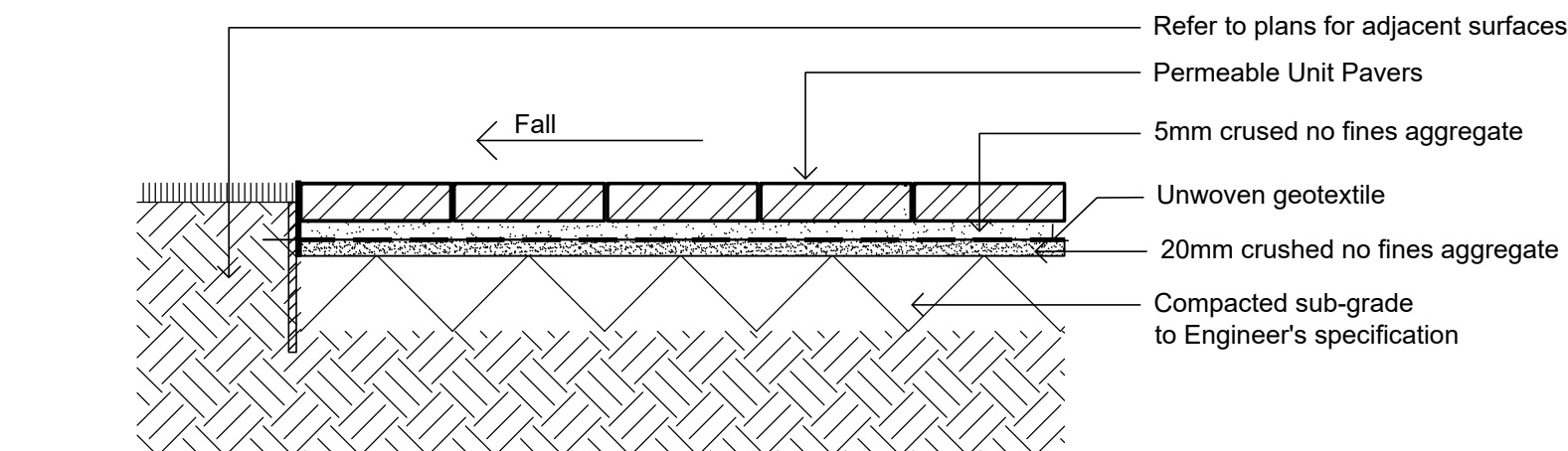
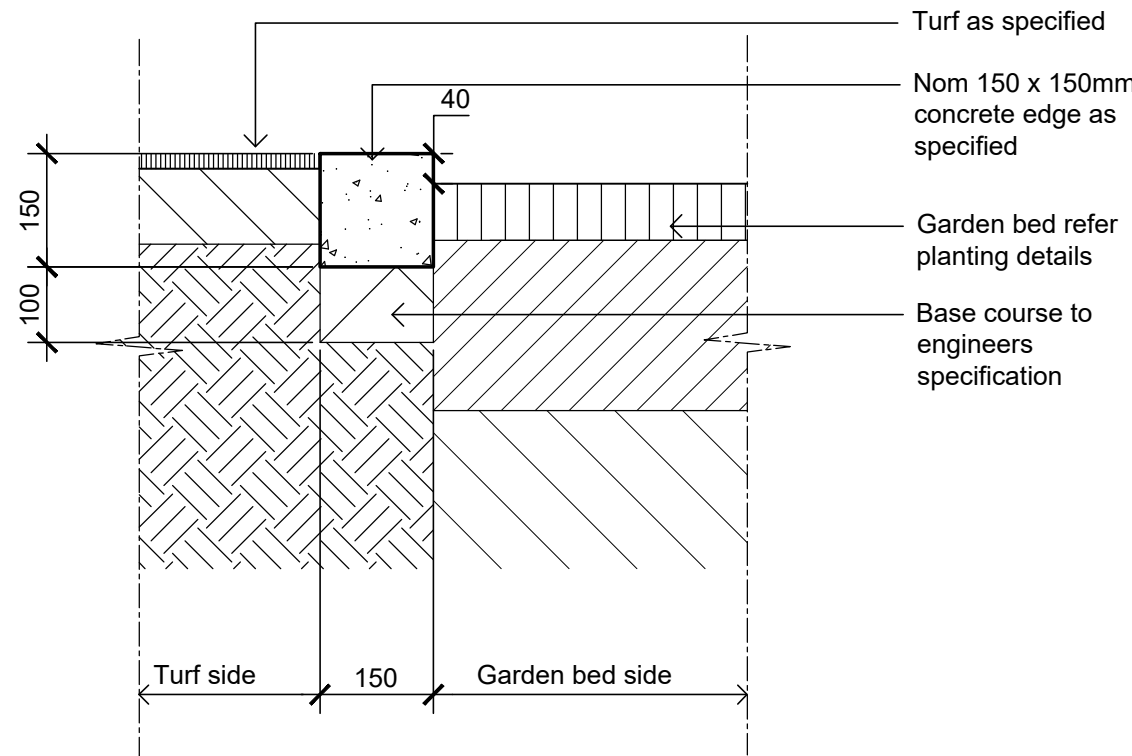
Detail Turf on Even Grade

1:10



Typical Concrete Edge

1:10



Permeable Unit Paver

1:10

© 2021 Site Image (NSW) Pty Ltd ABN 44 801 262 380 as agent for Site Image NSW Partnership. All rights reserved. This drawing is copyright and shall not be reproduced or copied in any form or by any means (graphic, electronic or mechanical including photocopy) without the written permission of Site Image (NSW) Pty Ltd Any license, expressed or implied, to use this document for any purpose what so ever is restricted to the terms of the written agreement between Site Image (NSW) Pty Ltd and the instructing party.

The contractor shall check and verify all work on site (including work by others) before commencing the landscape installation. Any discrepancies are to be reported to the Project Manager or Landscape Architect prior to commencing work. Do not scale this drawing. Any required dimensions not shown shall be referred to the Landscape Architect for confirmation.

C	Address Updated	RH	NM	27.05.2022
B	Architectural Coordination	RH	NM	06.05.2022
A	For Comment	RH	NM	16.03.2022
Issue	Revision Description	Drawn	Check	Date

Client

Aliro A Aliro

Project

24-40 Alfred Road
Chipping Norton
NSW 2170

Level 1, 3-5 Baptist Street
Redfern NSW 2016
Australia

Tel: (61 2) 8332 5600
Fax: (61 2) 9698 2877
www.siteimage.com.au

Site Image (NSW) Pty Ltd
ABN 44 801 262 380

S I T E I M A G E



Landscape Architects

PRELIMINARY

Drawing Name

Landscape Details

Scale As Shown

Job Number

SS22-4889

Drawing Number

Issue

501 C

NOT FOR CONSTRUCTION

24-40 ALFRED STREET

CHIPPING NORTON

CIVIL WORKS PACKAGE



LOCALITY PLAN
NTS

DRAWING LIST

DRAWING No.	DRAWING TITLE
21-957-C000	COVER SHEET, LOCALITY PLAN AND DRAWING LIST
21-957-C001	LEGEND AND GENERAL NOTES
21-957-C002	GENERAL ARRANGEMENT PLAN
21-957-C003	TYPICAL SECTIONS
BULK EARTHWORKS	
21-957-C010	BULK EARTHWORKS PLAN
ROADWORKS AND DRAINAGE	
21-957-C021	ROADWORKS AND DRAINAGE PLAN SHEET 1
21-957-C022	ROADWORKS AND DRAINAGE PLAN SHEET 2
21-957-C023	ROADWORKS AND DRAINAGE PLAN SHEET 3
21-957-C024	ROADWORKS AND DRAINAGE PLAN SHEET 4
PAVEMENT	
21-957-C030	PAVEMENT PLAN
EROSION AND SEDIMENT CONTROL	
21-957-C040	SEDIMENT AND EROSION CONTROL PLAN
21-957-C041	SEDIMENT AND EROSION CONTROL DETAILS
21-957-C050	PERVIOUS CATCHMENT PLAN

			Bar Scales		Client	<div>Aliro</div>	Scales	Drawn	QD	Project	Civil Engineers and Project Managers							
							N.T.S	Designed	QD			24-40 ALFRED STREET DEVELOPMENT	<div>at&l</div> <div>Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au</div>					
							Grid	GDA2020	Checked					LB				
							Height Datum	AHD	Approved					AT	Title	COVER SHEET, LOCALITY PLAN AND DRAWING LIST	Status FOR INFORMATION NOT FOR CONSTRUCTION	A1
							THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L											
P3	ISSUED FOR COUNCIL APPROVAL		09-06-23								Project - Drawing No. 21-957-C000	Issue P3						
P2	ISSUED FOR CLIENT REVIEW		26-05-23															
P1	ISSUED FOR CLIENT REVIEW		16-06-22															
Issue	Description		Date															

SITEWORKS NOTES

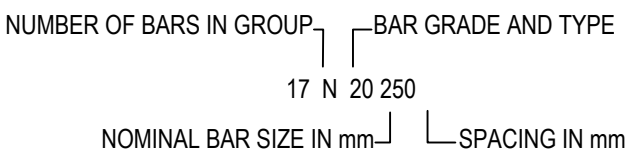
1. ORIGIN OF LEVELS:- REFER SURVEY NOTES.
2. CONTRACTOR MUST VERIFY ALL DIMENSIONS AND EXISTING LEVELS ON SITE PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES TO BE REPORTED TO AT & L.
3. MAKE SMOOTH CONNECTION WITH EXISTING WORKS.
4. ALL TRENCH BACKFILL MATERIAL SHALL BE COMPACTED TO THE SAME DENSITY AS THE ADJACENT MATERIAL.
5. ALL SERVICE TRENCHES UNDER VEHICULAR PAVEMENTS SHALL BE BACKFILLED WITH SAND TO 300mm ABOVE PIPE. WHERE PIPE IS UNDER PAVEMENTS BACKFILL REMAINDER OF TRENCH TO UNDERSIDE OF PAVEMENT WITH SAND OR APPROVED GRANULAR MATERIAL COMPACTED IN 150mm LAYERS TO MINIMUM 98% MODIFIED MAXIMUM DRY DENSITY IN ACCORDANCE WITH AS 1289 5.2.1(2017). (OR A DENSITY INDEX OF NOT LESS THAN 75)
6. PROVIDE 10mm WIDE EXPANSION JOINTS BETWEEN BUILDINGS AND ALL CONCRETE OR UNIT PAVEMENTS.
7. ASPHALTIC CONCRETE SHALL CONFORM TO RMS. SPECIFICATION R116.
8. ALL BASECOURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH RMS. FORM 3051 (UNBOUND), RMS. FORM ACCORDANCE WITH AS 1289 5.2.1(2017) FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m OF BASECOURSE MATERIAL PLACED.
9. ALL SUB-BASE COURSE MATERIAL SHALL BE IGNEOUS ROCK QUARRIED MATERIAL TO COMPLY WITH RMS. FORM 3051, 3051.1 AND COMPACTED FREQUENCY OF COMPACTION TESTING SHALL NOT BE LESS THAN 1 TEST PER 50m OF SUB-BASE COURSE MATERIAL PLACED.
10. AS AN ALTERNATIVE TO THE USE OF IGNEOUS ROCK AS A SUB-BASE MATERIAL IN (9) A CERTIFIED RECYCLED CONCRETE MATERIAL COMPLYING WITH RMS. FORM 3051 AND 3051.1 WILL BE CONSIDERED. SUBJECT TO MATERIAL SAMPLES AND APPROPRIATE CERTIFICATIONS BEING PROVIDED TO THE SATISFACTION OF AT & L.
11. SHOULD THE CONTRACTOR WISH TO USE A RECYCLED PRODUCT THIS SHALL BE CLEARLY INDICATED IN THEIR TENDER AND THE PRICE DIFFERENCE BETWEEN AN IGNEOUS PRODUCT AND A RECYCLED PRODUCT SHALL BE CLEARLY INDICATED.
12. WHERE NOTED ON THE DRAWINGS THAT WORKS ARE TO BE CARRIED BY OTHERS, (eg. ADJUSTMENT OF SERVICES), THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CO-ORDINATION OF THESE WORKS. 3052 (BOUND) COMPACTED TO MINIMUM 98% MODIFIED DENSITY IN TO MINIMUM 95% MODIFIED DENSITY IN ACCORDANCE WITH A.S 1289 5.2.1(2017)
13. ALL CIVIL WORKS TO BE CONDUCTED IN LINE WITH LIVERPOOL CITY COUNCIL GUIDELINES.

CONCRETE NOTES

1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH AS 3600(2018) CURRENT EDITION WITH AMENDMENTS, EXCEPT WHERE VARIED BY THE CONTRACT DOCUMENTS.
2. CONCRETE QUALITY ALL REQUIREMENTS OF THE CURRENT ACSE CONCRETE SPECIFICATION DOCUMENT 1 SHALL APPLY TO THE FORMWORK, REINFORCEMENT AND CONCRETE UNLESS NOTED OTHERWISE.

ELEMENT	AS 3600 F _c MPa AT 28 DAYS	SPECIFIED SLUMP	NOMINAL AGG. SIZE
VEHICULAR BASE	32	60	20
KERBS, PATHS, AND PITS	25	80	20

- CEMENT TYPE SHALL BE (ACSE SPECIFICATION) TYPE SL
- PROJECT CONTROL TESTING SHALL BE CARRIED OUT IN ACCORDANCE WITH AS 1379.
3. NO ADMIXTURES SHALL BE USED IN CONCRETE UNLESS APPROVED IN WRITING BY AT & L.
4. CLEAR CONCRETE COVER TO ALL REINFORCEMENT FOR DURABILITY SHALL BE 40mm TOP AND 70mm FOR EXTERNAL EDGES UNLESS NOTED OTHERWISE.
5. ALL REINFORCEMENT SHALL BE FIRMLY SUPPORTED ON MILD STEEL PLASTIC TIPPED CHAIRS, PLASTIC CHAIRS OR CONCRETE CHAIRS AT NOT GREATER THAN 1m CENTRES BOTH WAYS. BARS SHALL BE TIED AT ALTERNATE INTERSECTIONS.
6. THE FINISHED CONCRETE SHALL BE A DENSE HOMOGENEOUS MASS, COMPLETELY FILLING THE FORMWORK, THOROUGHLY EMBEDDING THE REINFORCEMENT AND FREE OF STONE POCKETS. ALL CONCRETE INCLUDING SLABS ON GROUND AND FOOTINGS SHALL BE COMPACTED AND CURED IN ACCORDANCE WITH R.M.S. SPECIFICATION R83.
7. REINFORCEMENT SYMBOLS:
- N DENOTES GRADE 450 N BARS TO AS/NZS 4671 GRADE N
- R DENOTES 230 R HOT ROLLED PLAIN BARS TO AS/NZS 4671
- SL DENOTES HARD-DRAWN WIRE REINFORCING FABRIC TO AS/NZS 4671



THE FIGURE FOLLOWING THE FABRIC SYMBOL, SL, IS THE REFERENCE NUMBER FOR FABRIC TO AS/NZS 4671.

8. FABRIC SHALL BE LAPPED IN ACCORDANCE WITH THE FOLLOWING DETAIL:



KERBING NOTES

1. ALL CONCRETE TO HAVE A MINIMUM COMPRESSIVE STRENGTH OF MPa 25 U.N.O IN REINFORCED CONCRETE NOTES.
2. ALL KERBS, GUTTERS, DISH DRAINS AND CROSSINGS TO BE CONSTRUCTED ON 100mm GRANULAR BASECOURSE COMPACTED TO MINIMUM 95% MODIFIED DRY DENSITY (AS 1289 5.2.1).
3. EXPANSION JOINTS (E-J) TO BE FORMED FROM 10mm COMPRESSIBLE CORK FILLER BOARD FOR THE FULL DEPTH OF THE SECTION AND CUT TO PROFILE. EXPANSION JOINTS TO BE LOCATED AT DRAINAGE PITS, ON TANGENT POINTS OF CURVES AND ELSEWHERE AT MAX 12m CENTRES EXCEPT FOR INTEGRAL KERBS WHERE THE EXPANSION JOINTS ARE TO MATCH THE JOINT LOCATIONS IN THE SLABS.
4. WEAKENED PLANE JOINTS TO BE MIN 3mm WIDE AND LOCATED AT 3m CENTRES EXCEPT FOR INTEGRAL KERBS WHERE THE WEAKENED PLANE JOINTS ARE TO MATCH THE JOINT LOCATIONS IN THE SLABS.
5. BROOMED FINISH TO ALL RAMPED AND VEHICULAR CROSSINGS. ALL OTHER KERBING OR DISH DRAINS TO BE STEEL FLOAT FINISHED.
6. IN THE REPLACEMENT OF KERB AND GUTTER :- EXISTING ROAD PAVEMENT IS TO BE SAWCUT 900mm U.N.O FROM THE LIP OF GUTTER. UPON COMPLETION OF THE NEW KERB AND GUTTER, NEW BASECOURSE AND SURFACE TO BE LAID 600mm WIDE U.N.O. EXISTING ALLOTMENT DRAINAGE PIPES ARE TO BE BUILT INTO THE NEW KERB AND GUTTER WITH 100mm DIA HOLE. EXISTING KERB AND GUTTER IS TO BE COMPLETELY REMOVED WHERE NEW KERB AND GUTTER IS SHOWN.



CONTRACTOR SHALL CALL;
DIAL BEFORE
YOU DIG 1100
PRIOR TO COMMENCEMENT OF WORK
TO OBTAIN ALL CURRENT SERVICE
AUTHORITY PLANS

EROSION AND SEDIMENT CONTROL

NOTES

GENERAL INSTRUCTIONS

1. THE SITE SUPERINTENDENT/ENGINEER WILL ENSURE THAT ALL SOIL AND WATER MANAGEMENT WORKS ARE LOCATED AS DOCUMENTED.
2. ALL WORK SHALL BE GENERALLY CARRIED OUT IN ACCORDANCE WITH
- a. LOCAL AUTHORITY REQUIREMENTS
- b. EPA REQUIREMENTS
- c. NSW DEPARTMENT OF HOUSING MANUAL "MANAGING URBAN STORMWATER, SOILS AND CONSTRUCTION", 4th EDITION, MARCH 2004.
3. MAINTAIN THE EROSION CONTROL DEVICES TO THE SATISFACTION OF THE SUPERINTENDENT AND THE LOCAL AUTHORITY.
4. WHEN STORMWATER PITS ARE CONSTRUCTED, PREVENT SITE RUNOFF ENTERING UNLESS SEDIMENT FENCES ARE ERECTED AROUND PITS.
5. CONTRACTOR IS TO ENSURE ALL EROSION & SEDIMENT CONTROL DEVICES ARE MAINTAINED IN GOOD WORKING ORDER AND OPERATE EFFECTIVELY. REPAIRS AND OR MAINTENANCE SHALL BE UNDERTAKEN AS REQUIRED, PARTICULARLY FOLLOWING STORM EVENTS.

LAND DISTURBANCE

6. WHERE PRACTICAL, THE SOIL EROSION HAZARD ON THE SITE WILL BE KEPT AS LOW AS POSSIBLE. TO THIS END, WORKS SHOULD BE UNDERTAKEN IN THE FOLLOWING SEQUENCE:
- (A) INSTALL A WIND FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL.
- (B) INSTALL A SEDIMENT FENCE ALONG THE BOUNDARIES AS SHOWN ON PLAN. REFER DETAIL.
- (C) CONSTRUCT STABILISED CONSTRUCTION ENTRANCE TO LOCATION AS DETERMINED BY SUPERINTENDENT/ENGINEER. REFER DETAIL.
- (D) INSTALL SEDIMENT BASIN AS SHOWN ON PLAN
- (E) INSTALL SEDIMENT TRAPS AS SHOWN ON PLAN.
- (F) UNDERTAKE SITE DEVELOPMENT WORKS IN ACCORDANCE WITH THE ENGINEERING PLANS. WHERE POSSIBLE, PHASE DEVELOPMENT SO THAT LAND DISTURBANCE IS CONFINED TO AREAS OF WORKABLE SIZE.

EROSION CONTROL

7. DURING WINDY WEATHER, LARGE, UNPROTECTED AREAS WILL BE KEPT MOIST (NOT WET) BY SPRINKLING WITH WATER TO KEEP DUST UNDER CONTROL.
8. FINAL SITE LANDSCAPING WILL BE UNDERTAKEN AS SOON AS POSSIBLE AND WITHIN 20 WORKING DAYS FROM COMPLETION OF CONSTRUCTION ACTIVITIES.

SEDIMENT CONTROL

9. STOCKPILES WILL NOT BE LOCATED WITHIN 2 METRES OF HAZARD AREAS, INCLUDING LIKELY AREAS OF CONCENTRATED OR HIGH VELOCITY FLOWS SUCH AS WATERWAYS. WHERE THEY ARE BETWEEN 2 AND 5 METRES FROM SUCH AREAS, SPECIAL SEDIMENT CONTROL MEASURES SHOULD BE TAKEN TO MINIMISE POSSIBLE POLLUTION TO DOWNSLOPE WATERS, E.G. THROUGH INSTALLATION OF SEDIMENT FENCING.
10. ANY SAND USED IN THE CONCRETE CURING PROCESS (SPREAD OVER THE SURFACE) WILL BE REMOVED AS SOON AS POSSIBLE AND WITHIN 10 WORKING DAYS FROM PLACEMENT.
11. WATER WILL BE PREVENTED FROM ENTERING THE PERMANENT DRAINAGE SYSTEM UNLESS IT IS RELATIVELY SEDIMENT FREE, I.E. THE CATCHMENT AREA HAS BEEN PERMANENTLY LANDSCAPED AND/OR ANY LIKELY SEDIMENT HAS BEEN FILTERED THROUGH AN APPROVED STRUCTURE.

12. TEMPORARY SOIL AND WATER MANAGEMENT STRUCTURES WILL BE REMOVED ONLY AFTER THE LANDS THEY ARE PROTECTING ARE REHABILITATED.

OTHER MATTERS

13. ACCEPTABLE RECEPTORS WILL BE PROVIDED FOR CONCRETE AND MORTAR SLURRIES, PAINTS, ACID WASHINGS, LIGHT-WEIGHT WASTE MATERIALS AND LITTER.
14. ANY EXISTING TREES WHICH FORM PART OF THE FINAL LANDSCAPING PLAN WILL BE PROTECTED FROM CONSTRUCTION ACTIVITIES BY:
- (A) PROTECTING THEM WITH BARRIER FENCING OR SIMILAR MATERIALS INSTALLED OUTSIDE THE DRIP LINE
- (B) ENSURING THAT NOTHING IS NAILED TO THEM
- (C) PROHIBITING PAVING, GRADING, SEDIMENT WASH OR PLACING OF STOCKPILES WITHIN THE DRIP LINE EXCEPT UNDER THE FOLLOWING CONDITIONS.
- (I) ENCROACHMENT ONLY OCCURS ON ONE SIDE AND NO CLOSER TO THE TRUNK THAN EITHER 1.5 METRES OR HALF THE DISTANCE BETWEEN THE OUTER EDGE OF THE DRIP LINE AND THE TRUNK, WHICHEVER IS THE GREATER
- (II) A DRAINAGE SYSTEM THAT ALLOWS AIR AND WATER TO CIRCULATE THROUGH THE ROOT ZONE (E.G. A GRAVEL BED) IS PLACED UNDER ALL FILL LAYERS OF MORE THAN 300 MILLIMETRES DEPTH
- (III) CARE IS TAKEN NOT TO CUT ROOTS UNNECESSARILY NOR TO COMPACT THE SOIL AROUND THEM.

EROSION AND SEDIMENT CONTROL

NOTES CONTINUED

STAGING

SUITABLE EROSION AND SEDIMENT CONTROLS SHALL BE DESIGNED, PROVIDED AND MAINTAINED BY THE CONTRACTOR THROUGHOUT ALL STAGES OF WORKS, INCLUDING AT COMPLETION OF THE BULK EARTHWORKS WHERE SHOWN ON AT&L DRAWINGS OR WHERE DIRECTED BY THE SUPERINTENDENT OR PENRITH CITY COUNCIL'S ENGINEERS.

SEDIMENT AND EROSION CONTROLS ARE TO BE DESIGNED AND DOCUMENTED BY A SUITABLY QUALIFIED EXPERT ENGAGED BY THE CONTRACTOR AND APPROVED AS PART OF THE CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. SUCH CONTROLS SHALL BE IN ACCORDANCE WITH THE RELEVANT REQUIREMENTS IN THE LATEST VERSION OF THE MANAGING URBAN STORMWATER: SOILS AND CONSTRUCTION GUIDELINE (LANDCOM).

DEWATERING

ANY DEWATERING WORKS TO BE AS PER THE DEWATERING PROCEDURE AS CONTAINED WITHIN THE CONSTRUCTION ENVIRONMENTAL MANAGEMENT PLAN (CEMP).

DECOMMISSIONING / DEMOLITION

DEMOLITION TO BE ACCORDANCE WITH "DEMO PLAN" DA04 BY WATSON YOUNG.

DEMOLITION OF EXISTING DWELLING TO BE CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF AS2601-2001 - DEMOLITION OF STRUCTURES BY CONTRACTORS EXPERIENCED IN THIS CLASS OF WORK AND HOLDING REQUIRED CURRENT PERMITS AND LICENSES AS REQUIRED.

EXISTING INTERNALS FENCING, CATTLE YARDS, UTILITIES AND OTHER REDUNDANT STRUCTURES TO BE DEMOLISHED AND REMOVED TO AN APPROVED WASTE MANAGEMENT FACILITY.

EXISTING UNDERGROUND SERVICES

NOTES

THE LOCATIONS OF UNDERGROUND SERVICES SHOWN IN THIS SET OF DRAWINGS HAVE BEEN PLOTTED FROM SURVEY INFORMATION AND SERVICE AUTHORITY INFORMATION. THE SERVICE INFORMATION HAS BEEN PREPARED ONLY TO SHOW THE APPROXIMATE POSITIONS OF ANY KNOWN SERVICES AND MAY NOT BE AS CONSTRUCTED OR ACCURATE.

AT & L CAN NOT GUARANTEE THAT THE SERVICES INFORMATION SHOWN ON THESE DRAWINGS ACCURATELY INDICATES THE PRESENCE OR ABSENCE OF SERVICES OR THEIR LOCATION AND WILL ACCEPT NO LIABILITY FOR INACCURACIES IN THE SERVICES INFORMATION SHOWN FROM ANY CAUSE WHATSOEVER.

CONTRACTORS SHALL TAKE DUE CARE WHEN EXCAVATING ONSITE INCLUDING HAND EXCAVATION WHERE NECESSARY.

CONTRACTORS ARE TO CONTACT THE RELEVANT SERVICE AUTHORITY PRIOR TO COMMENCEMENT OF EXCAVATION WORKS.


CONTRACTORS ARE TO UNDERTAKE A SERVICES SEARCH PRIOR TO COMMENCEMENT OF WORKS ON SITE. SEARCH RESULTS ARE TO BE KEPT ON SITE AT ALL TIMES.

SITEWORKS LEGEND:

- -- EXISTING BOUNDARY
- -- PROPOSED BOUNDARY
- e --- e EXISTING ELECTRICAL
- l --- l EXISTING TELSTRA
- s --- s EXISTING SEWER
- EXISTING SEWER MANHOLE
- ⊞ EXISTING POWER POLE
- ⊞ EXISTING TELSTRA PIT
- x EXISTING WATER STOP VALVE
- ⊞ EXISTING WATER HYDRANT
- ⊞ EXISTING SEWER PIT
- 48.00 --- PROPOSED MAJOR CONTOUR
- 48.20 --- PROPOSED MINOR CONTOUR
- F48.00 PROPOSED SURFACE LEVEL
- FFL 48.00 PROPOSED FINISHED FLOOR LEVEL
- IKO PROPOSED INTEGRAL KERB ONLY
- IK&G PROPOSED INTEGRAL KERB AND GUTTER
- K&G PROPOSED KERB AND GUTTER
- KO PROPOSED KERB ONLY
- PR PROPOSED PRAM RAMP
- A1 STORMWATER PIT LABEL
- PROPOSED GRATED SURFACE INLET PIT
- PROPOSED JUNCTION PIT WITH SOLID COVER
- PROPOSED KERB INLET PIT
- Ø375 PROPOSED STORMWATER PIPE, SIZE AND FLOW DIRECTION
- PROPOSED GRATED DRAIN
- PROPOSED GUARD RAIL
- PROPOSED RETAINING WALL

SEDIMENT AND EROSION LEGEND

- ○ SEDIMENT FENCE
- → CATCH DRAIN
- B — BARRIER FENCE
- MESH AND GRAVEL INLET FILTER (SD 6-11)
- ⊞ GEOTEXTILE INLET (SD 6-12)
- STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA
- PROPOSED SITE ACCESS GATE
- STRAW BALE FILTER (SD 6-7)

			Bar Scales		Client		Scales	Drawn	QD	Project	24-40 ALFRED STREET DEVELOPMENT	 <div>Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au</div>			
									N.T.S				Designed	QD	
									Grid				GDA2020	Checked	LB
									Height Datum				AHD	Approved	AT
									THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L						
P3	ISSUED FOR COUNCIL APPROVAL	09-06-23							Title	LEGEND AND GENERAL NOTES	Status	FOR INFORMATION NOT FOR CONSTRUCTION	A1		
P2	ISSUED FOR CLIENT REVIEW	26-05-23									Project - Drawing No.	Issue			
P1	ISSUED FOR CLIENT REVIEW	16-06-22									21-957-C001	P3			
Issue	Description	Date													

C021 - SHEET 1

NO.20
68
DP17254

73
DP574148

C022 - SHEET 2

WAREHOUSE 2

74
DP17254

75
DP17254

1
DP1201394

WAREHOUSE 1

1
DP775485

NO.42-46
61
DP17254

60
DP1021820

59
DP1021820

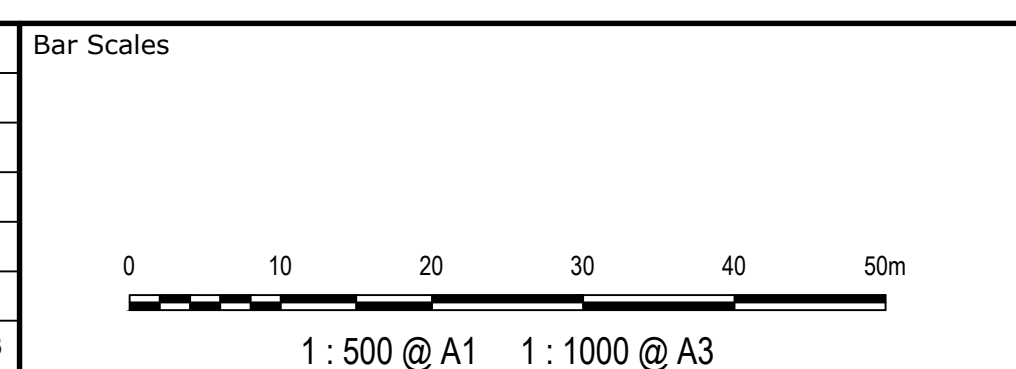
2
DP573132

57
DP582191

C023 - SHEET 3

C024 - SHEET 4

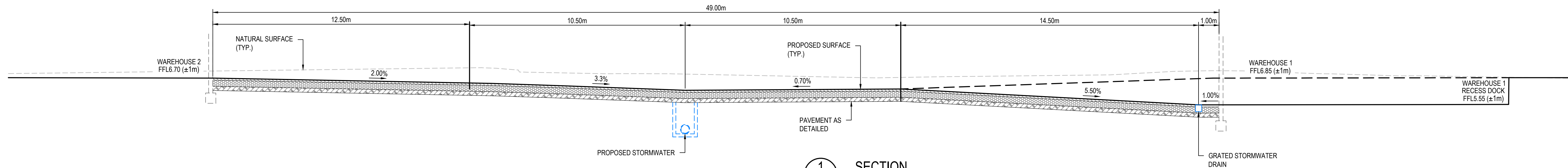
P3	ISSUED FOR COUNCIL APPROVAL	09-06-23
P2	ISSUED FOR CLIENT REVIEW	26-05-23
P1	ISSUED FOR CLIENT REVIEW	16-06-22
Issue	Description	Date



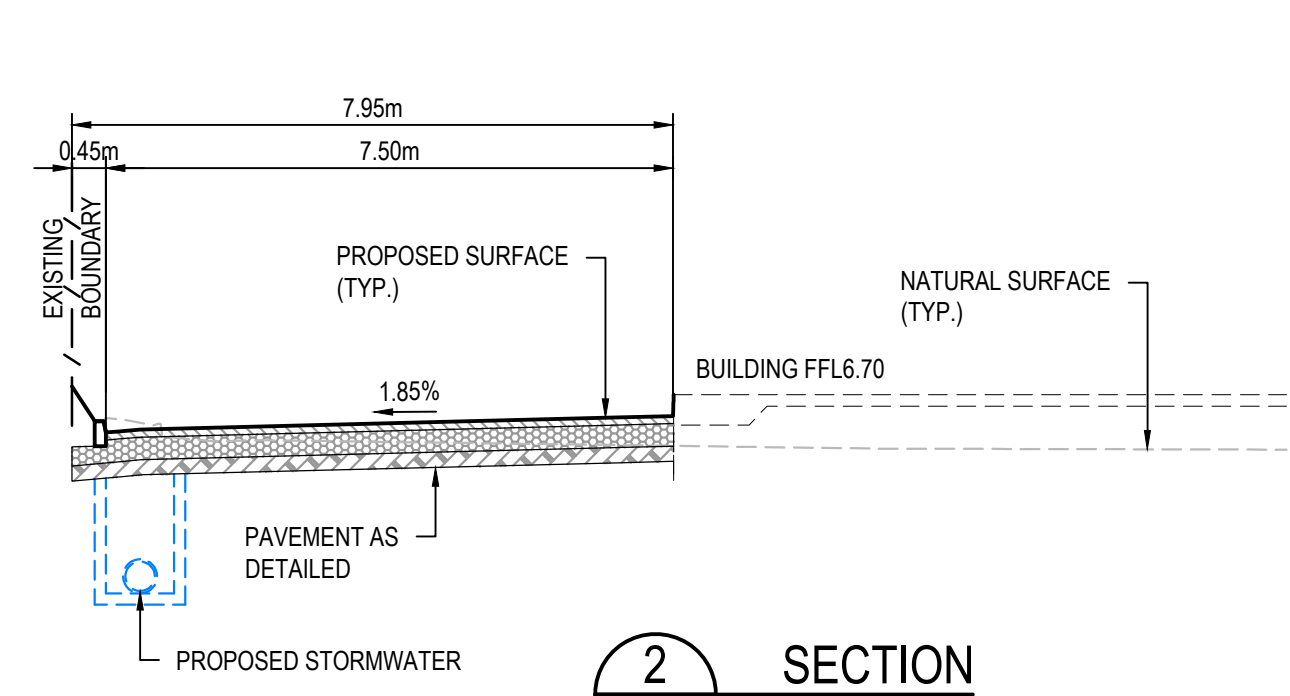
Scales	1:500 @ A1	Drawn	QD
		Designed	QD
Grid	GDA2020	Checked	LB
Height Datum	AHD	Approved	AT
THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L			

Project	24-40 ALFRED STREET DEVELOPMENT
Title	GENERAL ARRANGEMENT PLAN

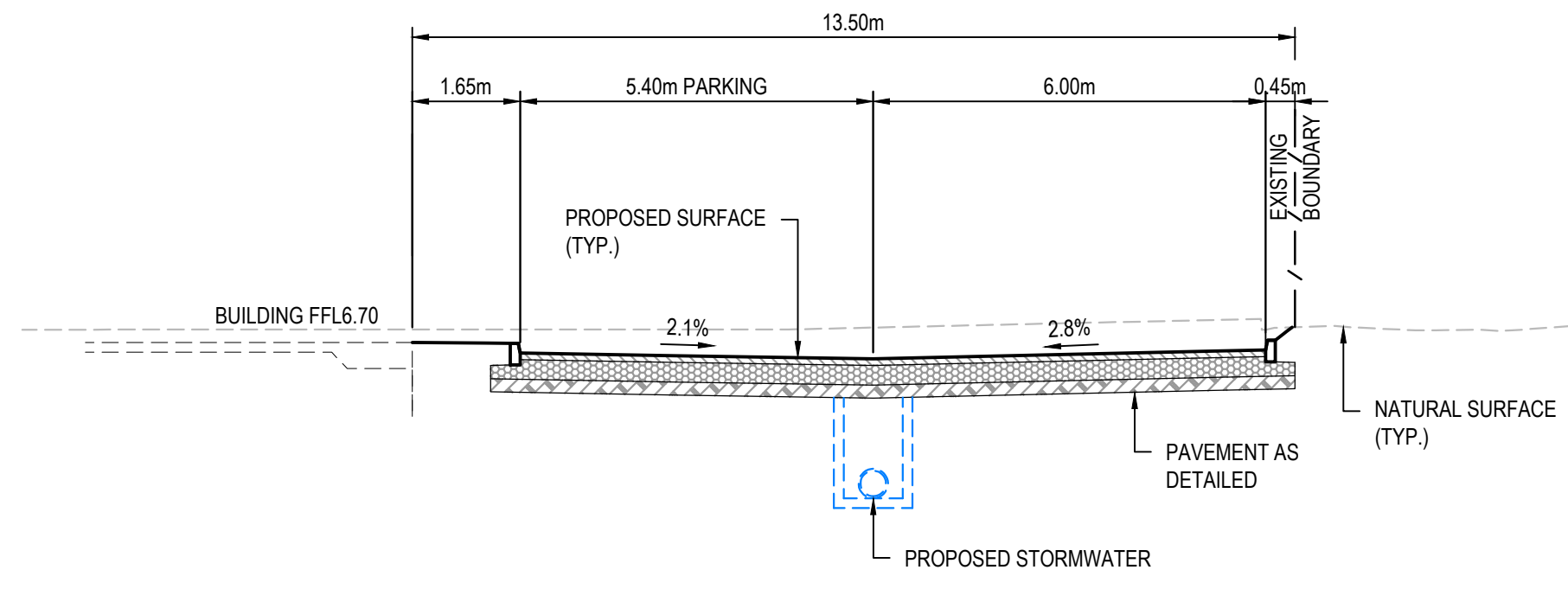
Civil Engineers and Project Managers	
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au	
Status	FOR INFORMATION NOT FOR CONSTRUCTION
Project - Drawing No.	21-957-C002
Issue	P3



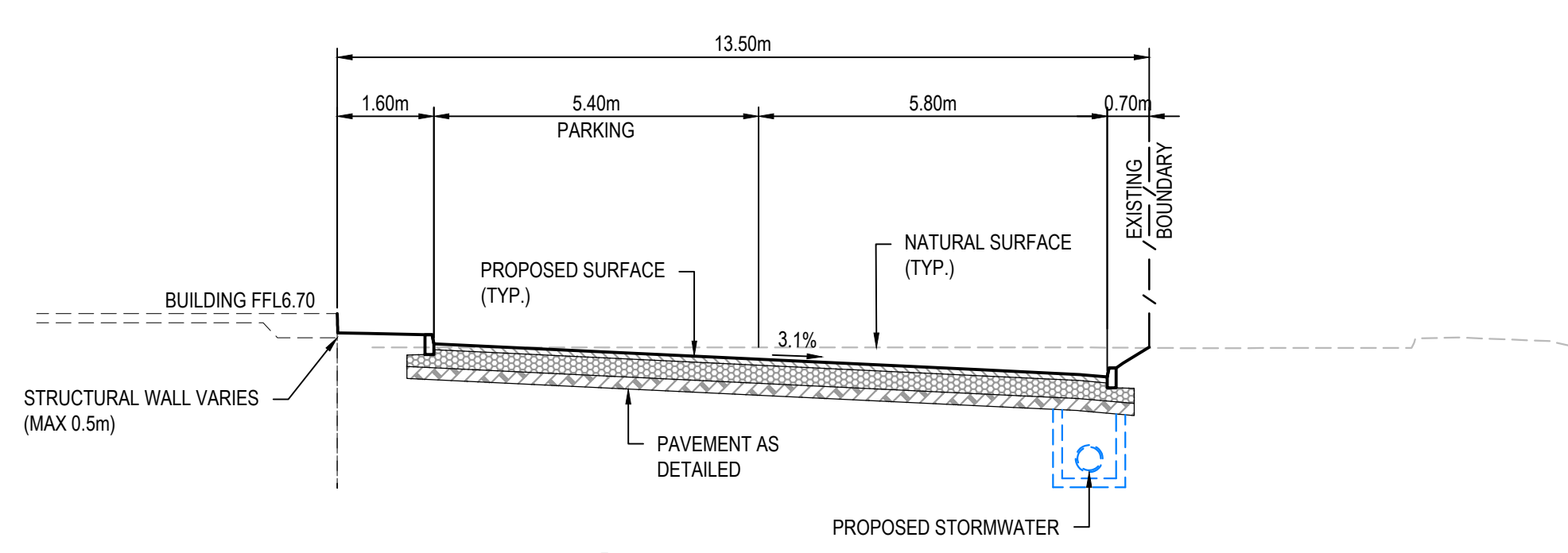
1 SECTION
C003 1 : 100



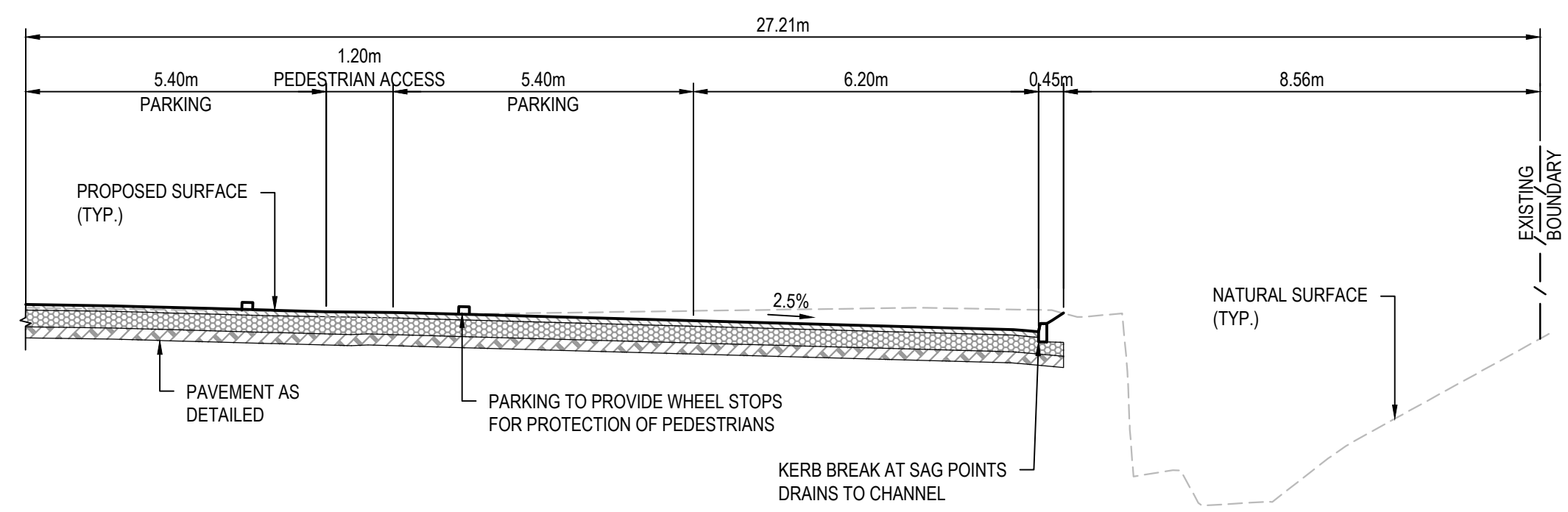
2 SECTION
C003 1 : 100



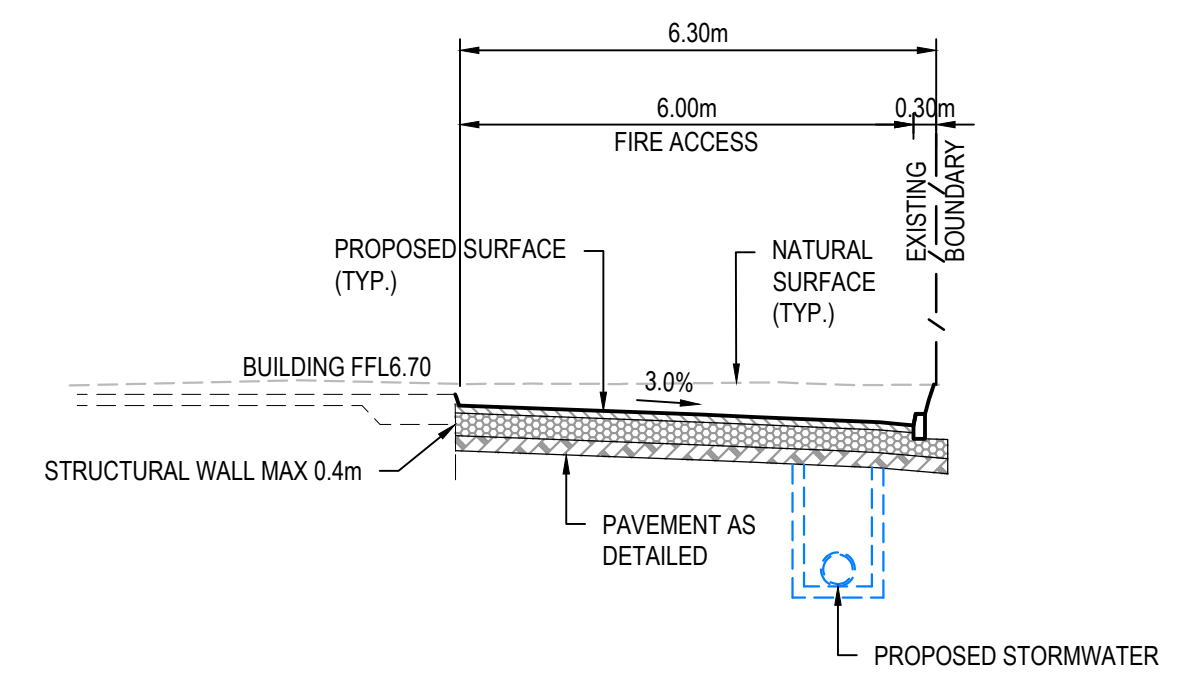
3 SECTION
C003 1 : 100



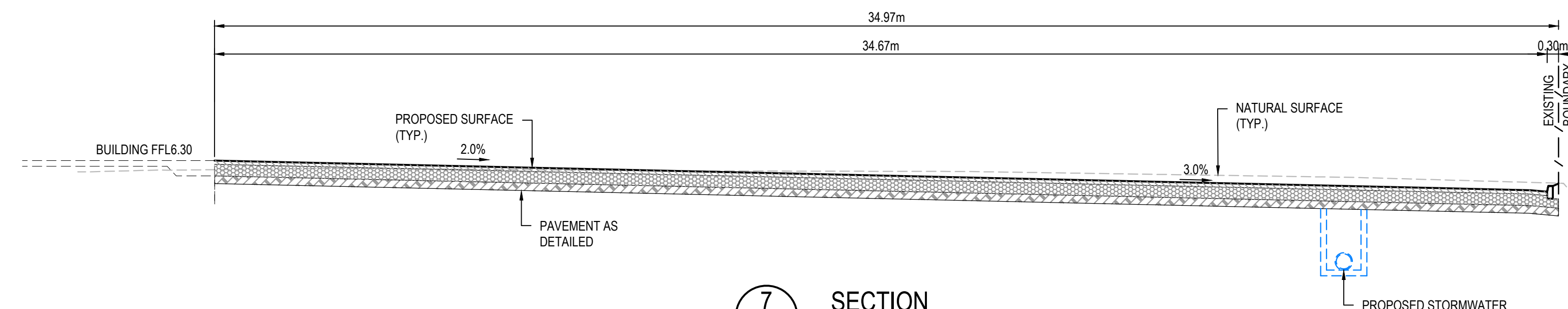
4 SECTION
C003 1 : 100



5 SECTION
C003 1 : 100



6 SECTION
C003 1 : 100



7 SECTION
C003 1 : 100

																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						</
--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	--	----

EARTHWORKS VOLUMES (subject to detailed design)

TOTAL

A	B	C=A+B
NET CUT (cu.m)	NET FILL (cu.m)	BALANCE (cu.m)
-10,560	6,640	-3920

ESTIMATED VOLUME OF DEMOLISHED SLABS & PAVEMENTS: 9,600m³

STAGE 1 ONLY

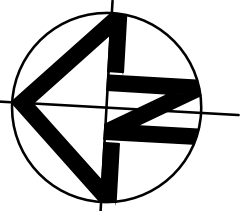
A	B	C=A+B
NET CUT (cu.m)	NET FILL (cu.m)	BALANCE (cu.m)
-6400	6640	240

ESTIMATED VOLUME OF DEMOLISHED SLABS & PAVEMENTS: 7,200m³

STAGE 2 ONLY

A	B	C=A+B
NET CUT (cu.m)	NET FILL (cu.m)	BALANCE (cu.m)
-4160	0	-4160

ESTIMATED VOLUME OF DEMOLISHED SLABS & PAVEMENTS: 2,400m³



LEGEND

EXISTING		EXISTING BOUNDARY
		EXISTING EASEMENT
	60.0	EXISTING CONTOUR
PROPOSED		PROPOSED BOUNDARY
		RETAINING WALL - CUT
		RETAINING WALL - FILL
		TEMPORARY EARTHWORKS BATTER
		PROPOSED STORMWATER BASIN
BE 75.0		PROPOSED BULK EARTHWORKS LEVEL
		EXTENT OF EXCAVATION OF EXISTING DAMS

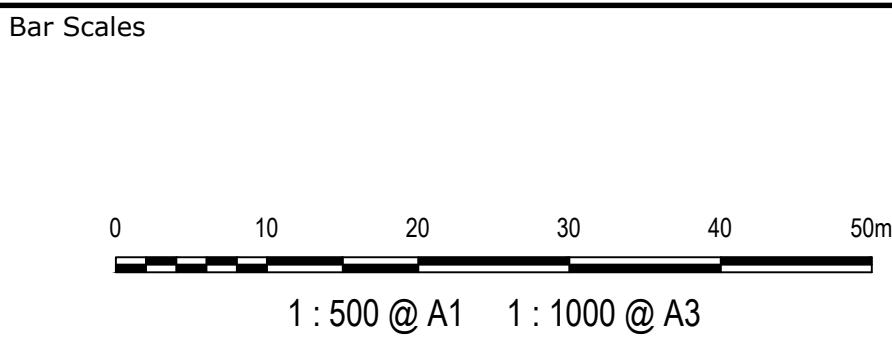
CUT/FILL DEPTH RANGE LEGEND

Lower_value	Upper_value	Colour
-100	to -4.0 m	
-4.0	to -3.5 m	
-3.5	to -3.0 m	
-3.0	to -2.5 m	
-2.5	to -2.0 m	
-2.0	to -1.5 m	
-1.5	to -1.0 m	
-1.0	to -0.5 m	
-0.5	to 0.0 m	
0.0	to 0.5 m	
0.5	to 1.0 m	
1.0	to 1.5 m	
1.5	to 2.0 m	
2.0	to 2.5 m	
2.5	to 3.0 m	
3.0	to 3.5 m	
3.5	to 4.0 m	
4.0	to 100 m	

NOTES

1. NO EXISTING TOPSOIL PRESENT TO BE STRIPPED
2. EXISTING SLAB/PAVEMENT ASSUMED TO BE REMOVED PRIOR TO BULK EARTHWORKS, AT AN AVERAGE DEPTH OF 200mm
3. NEGATIVE BALANCE VOLUMES INDICATE EXCESS OF MATERIAL (EXPORT)
4. ON LOT PAVEMENT DEPTH ASSUMED 300mm
5. THE VOLUMES DO NOT TAKE INTO ACCOUNT THE FOLLOWING :-
 - 5.1. BULKING FACTORS OF REMOVED CUT
 - 5.2. REMOVAL AND/OR REMEDIATION OF ANY EXISTING UNCONTROLLED FILL
 - 5.3. PROPOSED LANDSCAPING
 - 5.4. STORMWATER AND UTILITY TRENCHING
 - 5.5. EROSION AND SEDIMENTATION CONTROL SWALES AND BASINS
6. LEVELS MAY VARY +/- 1M
7. PADS MAY BE CREATED OVER STAGES - TO BE DETERMINED DURING CONSTRUCTION
8. CONTOURS BASED ON SURVEY DATED 27-04-22 BY LAND PARTNERS SURVEYORS AND PLANNERS

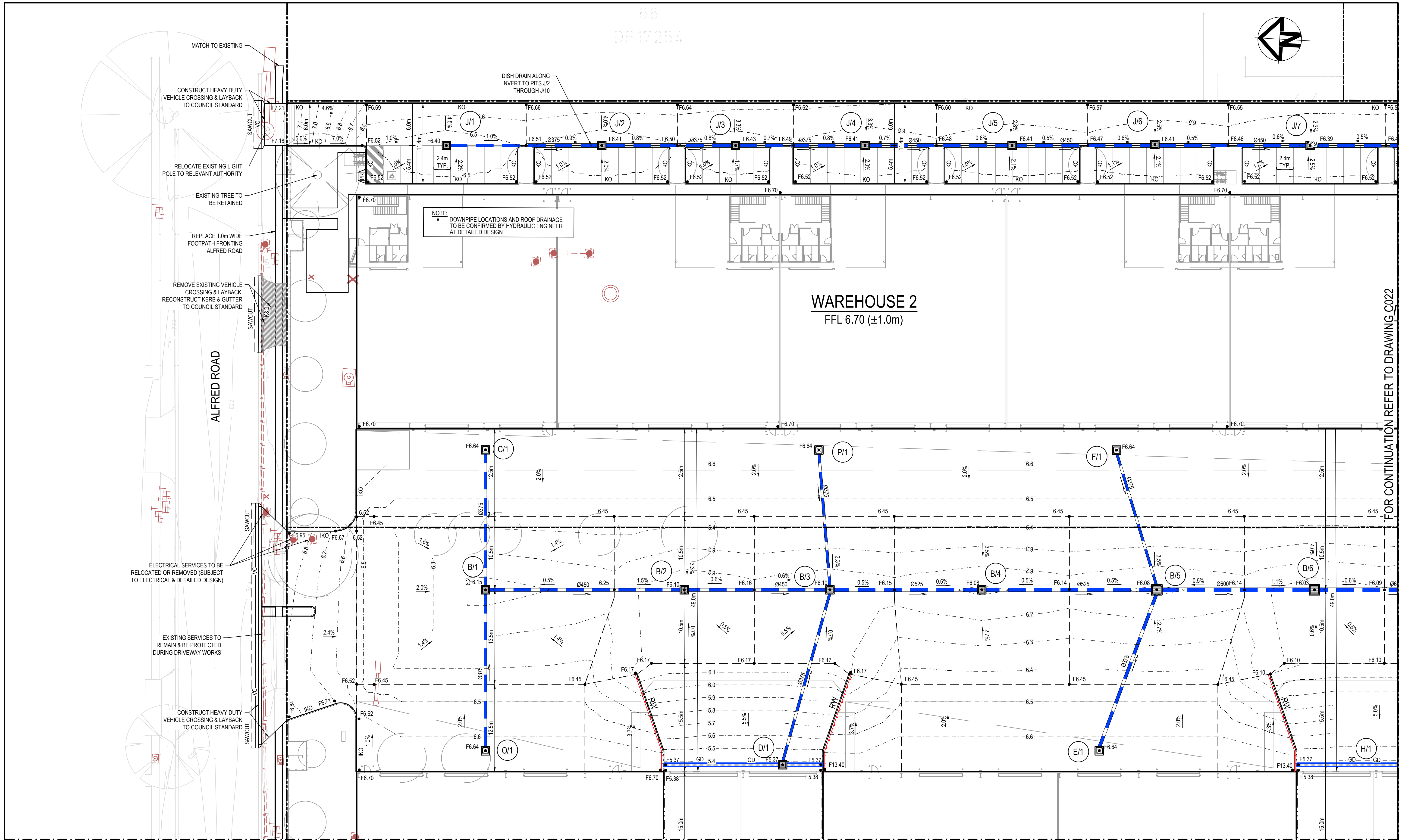
P3	ISSUED FOR COUNCIL APPROVAL	09-06-23
P2	ISSUED FOR CLIENT REVIEW	26-05-23
P1	ISSUED FOR CLIENT REVIEW	16-06-22
Issue	Description	Date



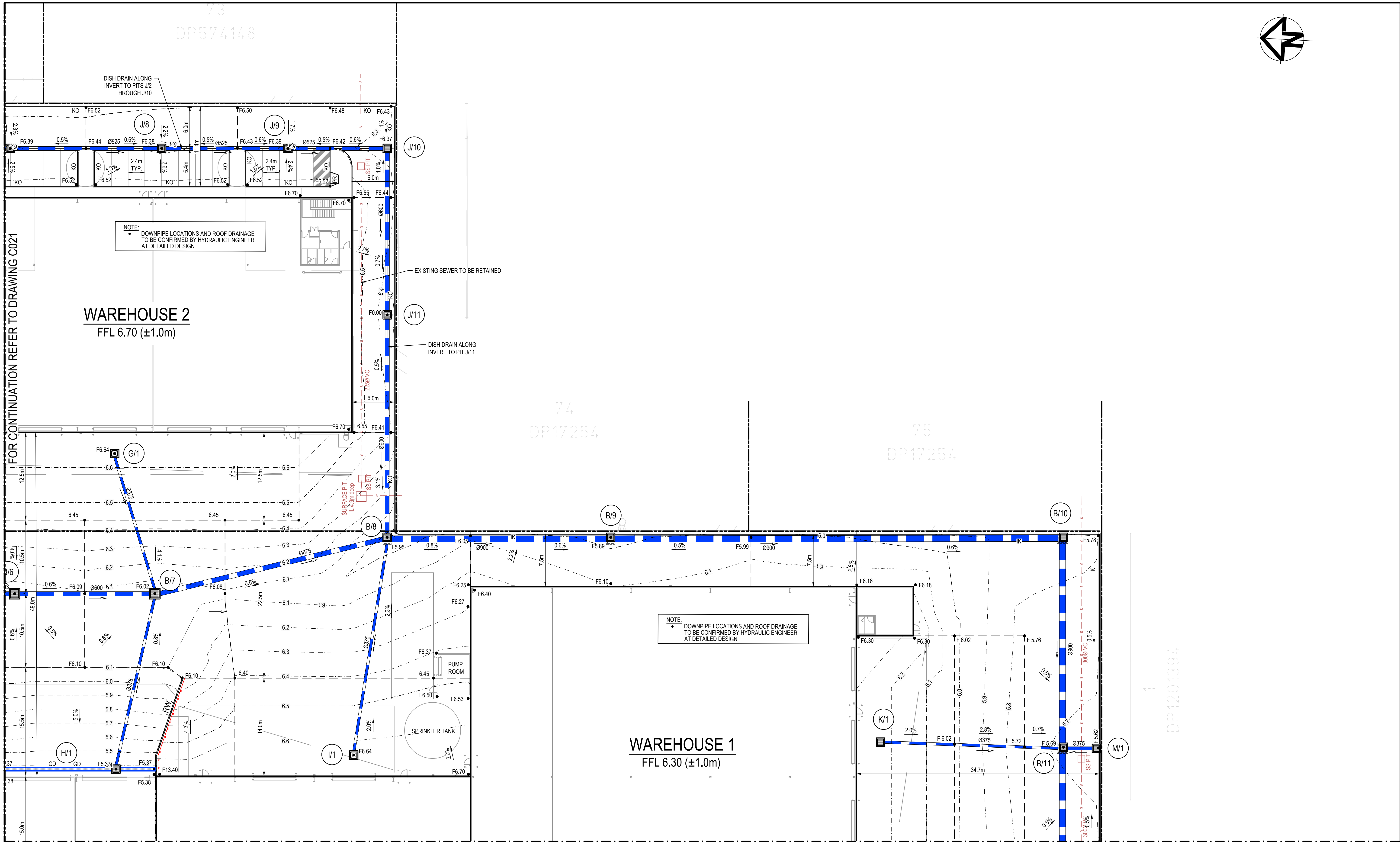
Scales	1:500 @ A1	Drawn	QD
		Designed	QD
Grid	GDA2020	Checked	LB
Height Datum	AHD	Approved	AT
THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L			

Project	24-40 ALFRED STREET DEVELOPMENT
Title	BULK EARTHWORKS PLAN

Civil Engineers and Project Managers	
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au	
Status	FOR INFORMATION NOT FOR CONSTRUCTION
Project - Drawing No.	21-957-C010
Issue	P3



FOR CONTINUATION REFER TO DRAWING C023																	
				Bar Scales		Key Plan		Client		Scales		Drawn		Project		Civil Engineers and Project Managers	



P3	ISSUED FOR COUNCIL APPROVAL	09-06-23
P4	ISSUED FOR CLIENT REVIEW	26-05-23
P3	ISSUED FOR CLIENT REVIEW	19-05-23
P2	ISSUED FOR CLIENT REVIEW	19-05-22
P1	ISSUED FOR CLIENT REVIEW	16-06-22
Issue	Description	Date

Bar Scales

0 5 10 15 20 25m

1 : 250 @ A1 1 : 500 @ A3

Key Plan

Client

Aliro

Scales

1:250 @ A1

Grid GDA2020

Height Datum AHD

THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L

Drawn	QD
Designed	QD
Checked	LB
Approved	AT

Project

24-40 ALFRED STREET DEVELOPMENT

Title

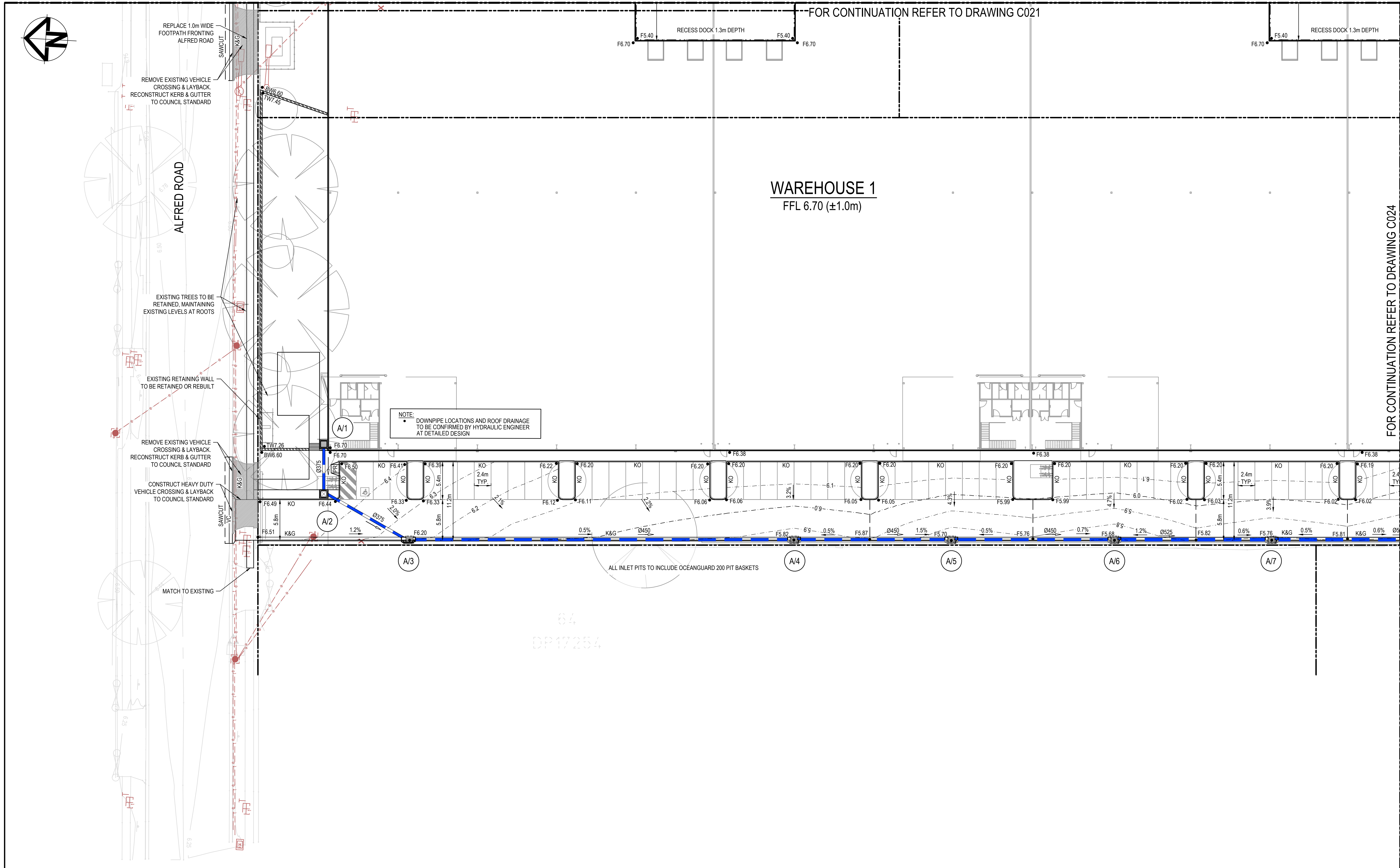
ROADWORKS AND DRAINAGE PLAN SHEET 2

Civil Engineers and Project Managers

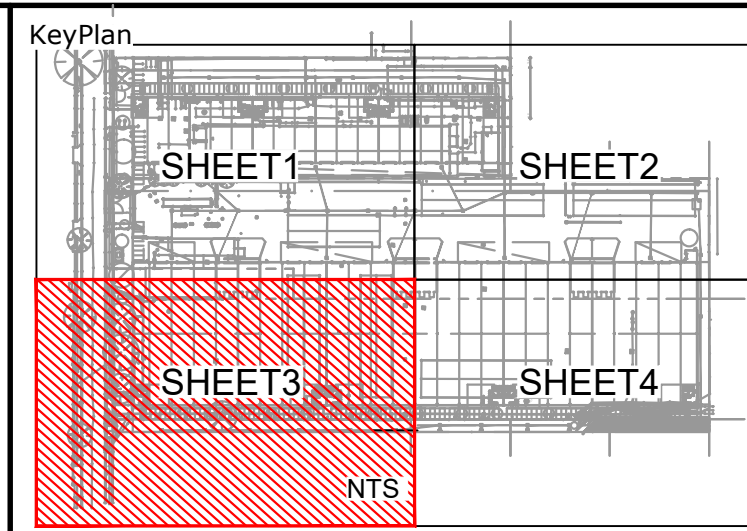
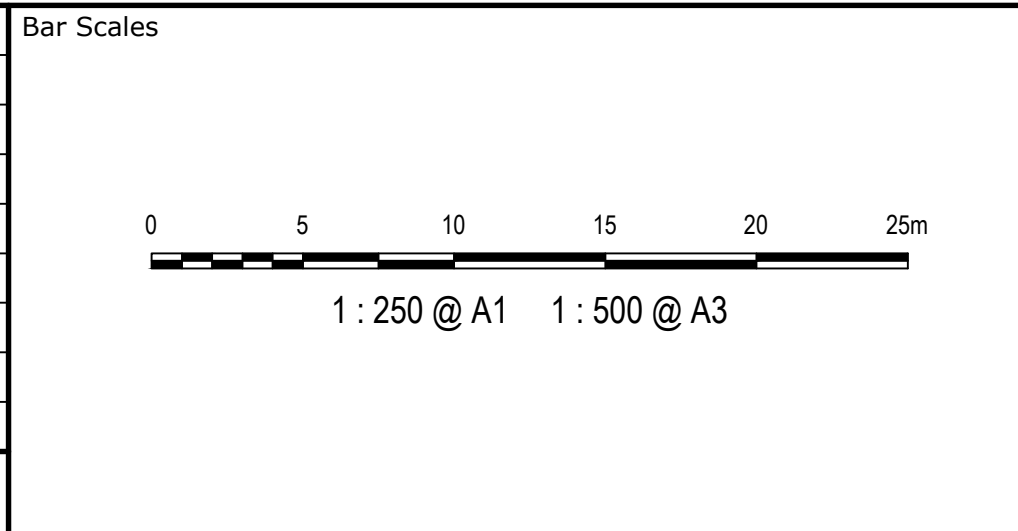
at&l

Level 7, 153 Walker Street
North Sydney NSW 2060
ABN 96 130 882 405
Tel: 02 9439 1777
Fax: 02 9923 1055
www.atl.net.au
info@atl.net.au

Status	FOR INFORMATION NOT FOR CONSTRUCTION	A1
Project - Drawing No.	21-957-C022	Issue
		P3



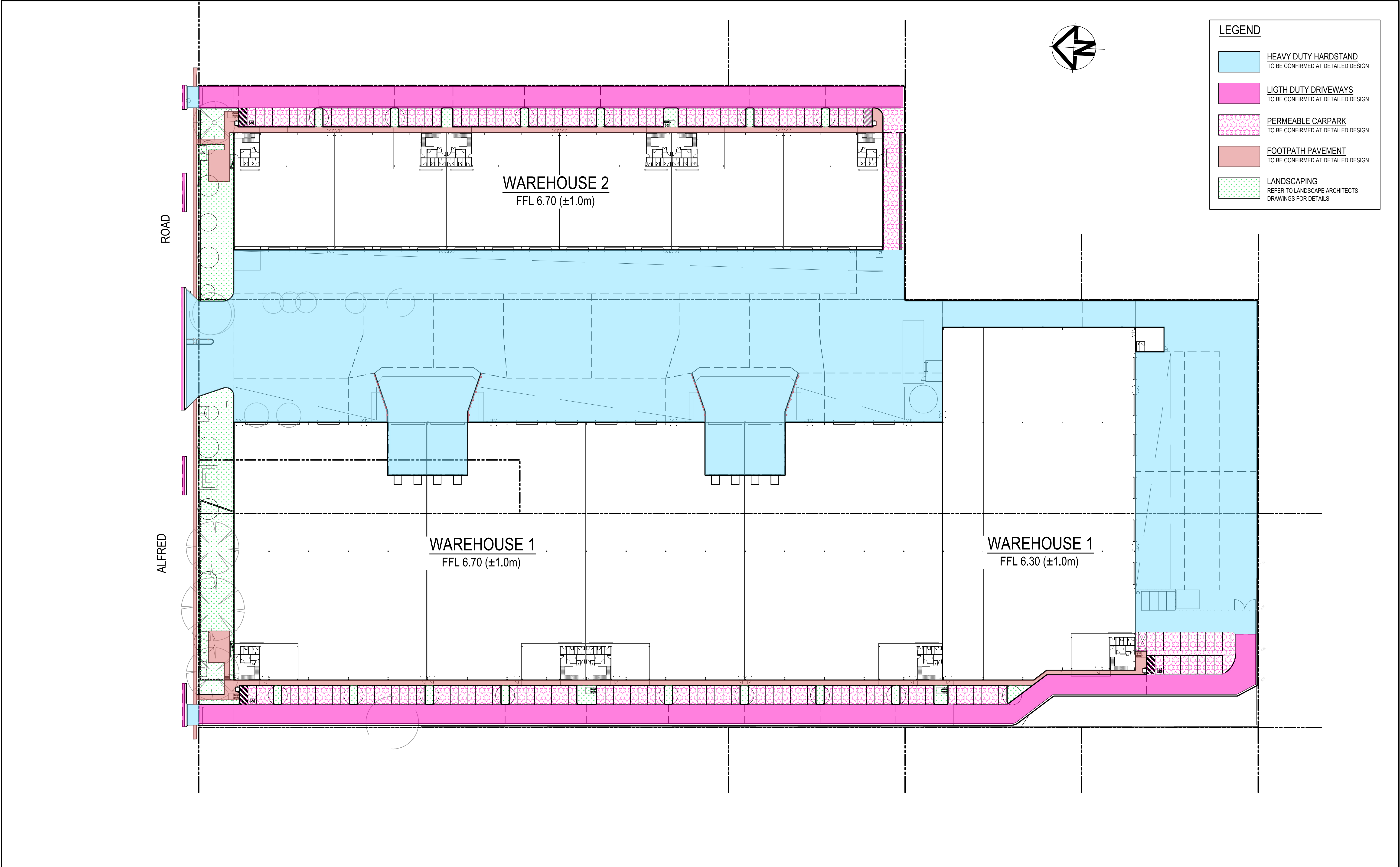
P3	ISSUED FOR COUNCIL APPROVAL	09-06-23
P4	ISSUED FOR CLIENT REVIEW	26-05-23
P3	ISSUED FOR CLIENT REVIEW	19-05-23
P2	ISSUED FOR CLIENT REVIEW	19-05-22
P1	ISSUED FOR CLIENT REVIEW	16-06-22
Issue	Description	Date





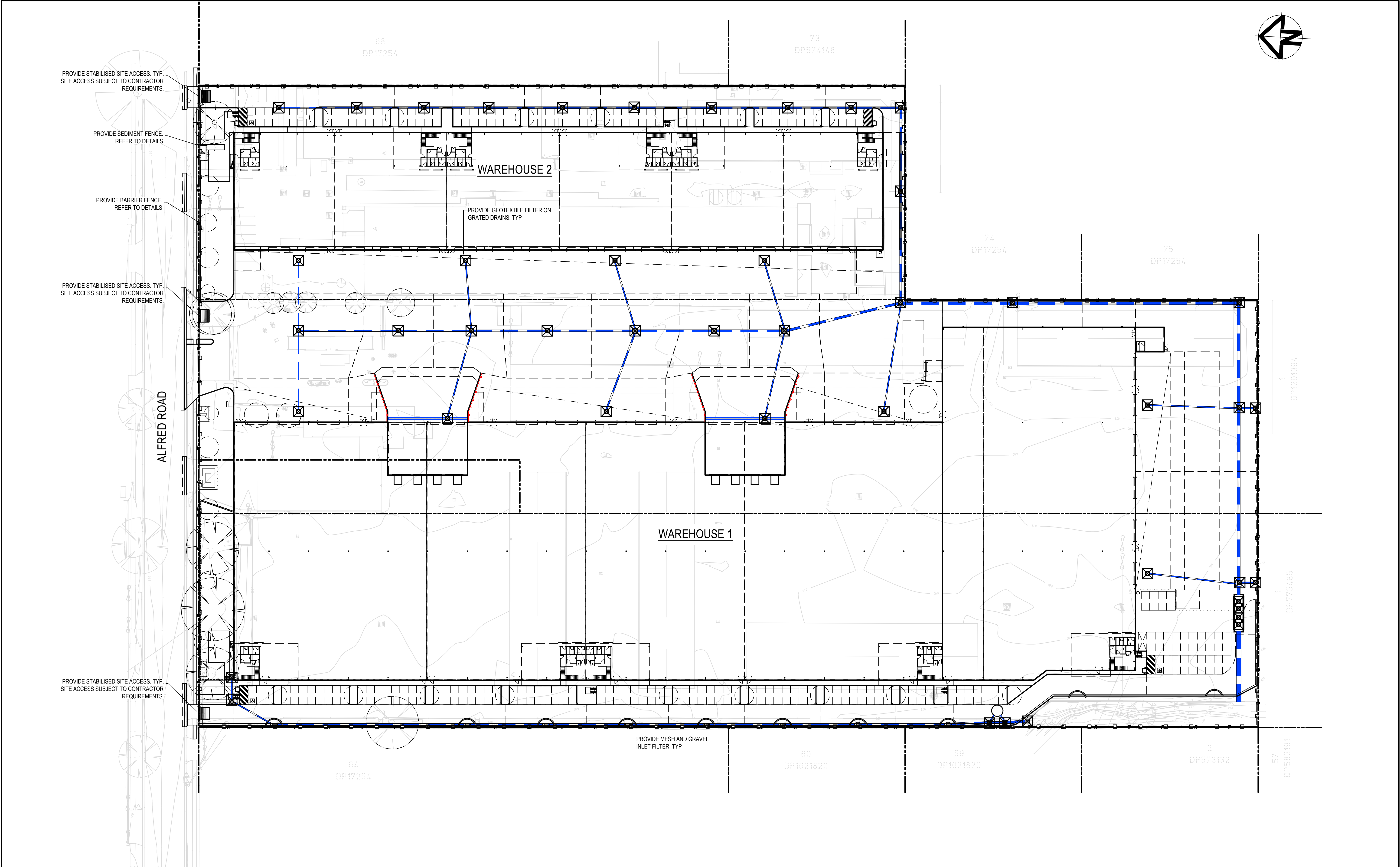
Scales	1:250 @ A1	Drawn	QD
		Designed	QD
Grid	GDA2020	Checked	LB
Height Datum	AHD	Approved	AT
THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L			

Project	24-40 ALFRED STREET DEVELOPMENT
Title	ROADWORKS AND DRAINAGE PLAN SHEET 3

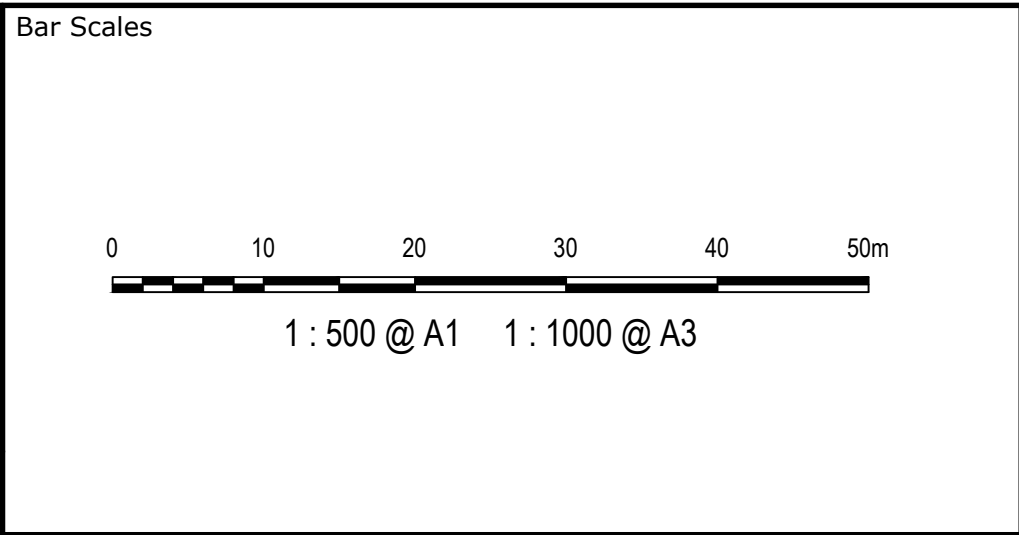
Civil Engineers and Project Managers		
at&l		
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au		
Status	FOR INFORMATION NOT FOR CONSTRUCTION	A1
Project - Drawing No.	21-957-C023	Issue P3



			Bar Scales				Client		Scales		Drawn		Project		Civil Engineers and Project Managers	
									1:500 @ A1		Designed		24-40 ALFRED STREET DEVELOPMENT		 <div>Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au</div>	
									Grid GDA2020		Checked		LB			
									Height Datum AHD		Approved		AT			
									THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L				PAVEMENT PLAN		Status	
															FOR INFORMATION NOT FOR CONSTRUCTION	
P3 ISSUED FOR COUNCIL APPROVAL			09-06-23												Project - Drawing No.	
P2 ISSUED FOR CLIENT REVIEW			26-05-23												21-957-C030	
P1 ISSUED FOR CLIENT REVIEW			16-06-22												Issue	
Issue			Description		Date										P3	



P3	ISSUED FOR COUNCIL APPROVAL	09-06-23
P2	ISSUED FOR CLIENT REVIEW	26-05-23
P1	ISSUED FOR CLIENT REVIEW	16-06-22
Issue	Description	Date

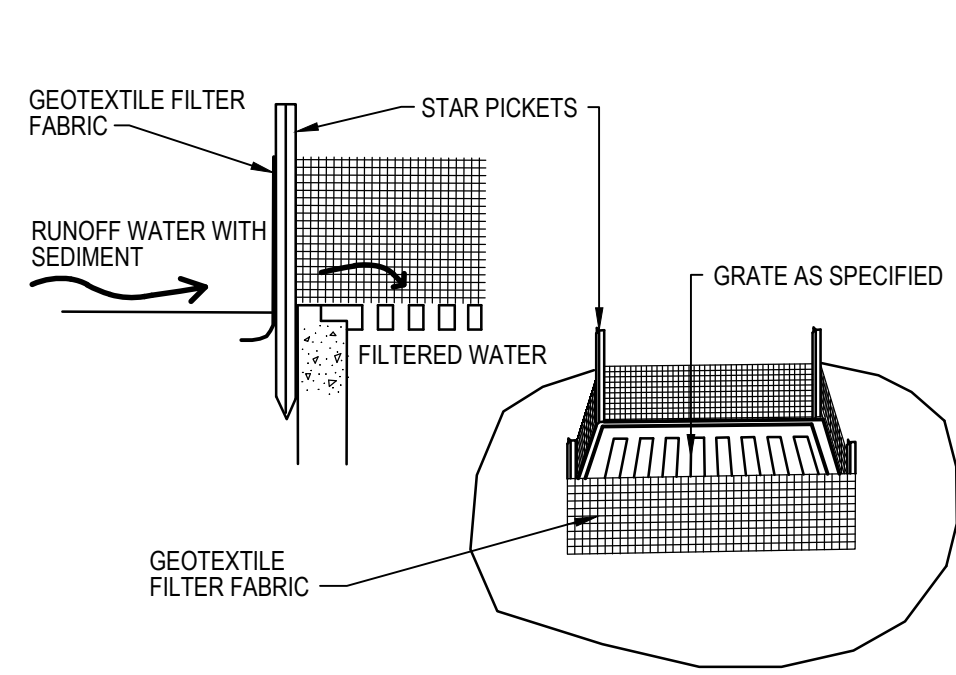


Client
Aliro

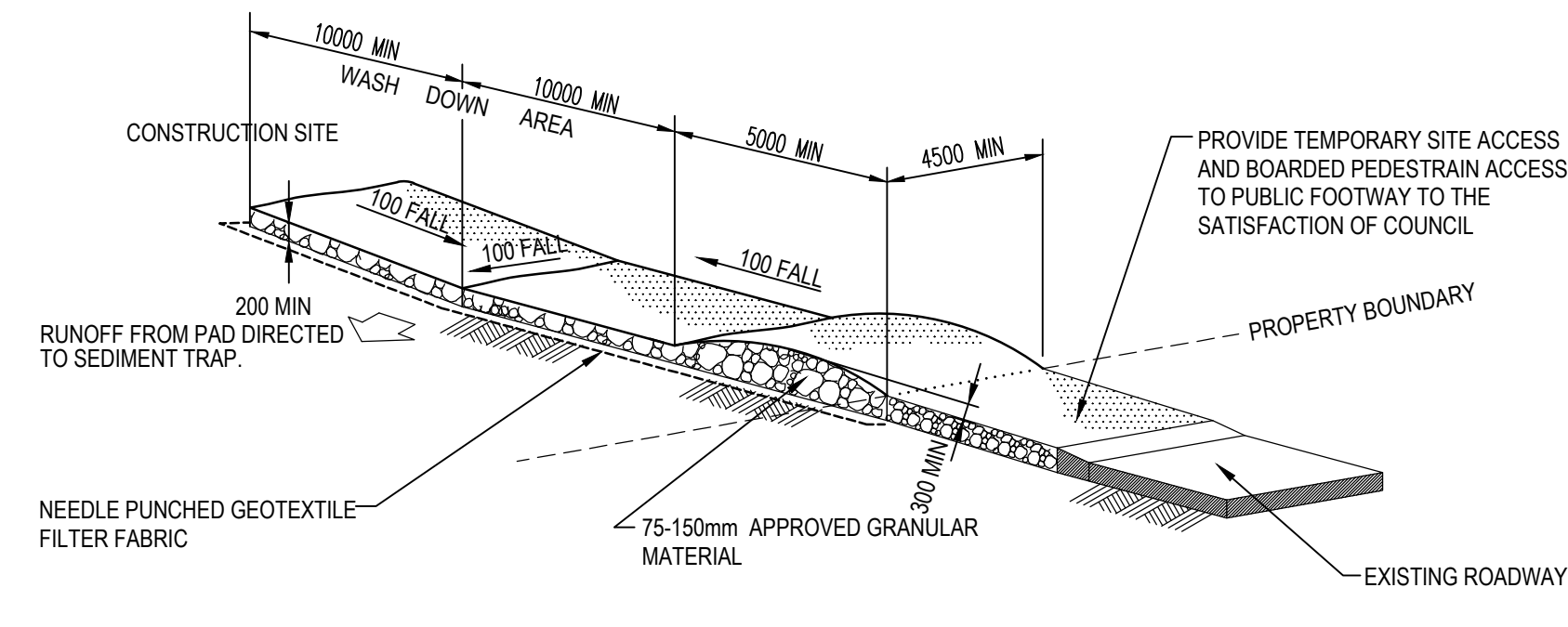
Scales	1:500 @ A1	Drawn	QD
		Designed	QD
Grid	GDA2020	Checked	LB
Height Datum	AHD	Approved	AT
THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L			

Project	24-40 ALFRED STREET DEVELOPMENT
Title	SEDIMENT AND EROSION CONTROL PLAN

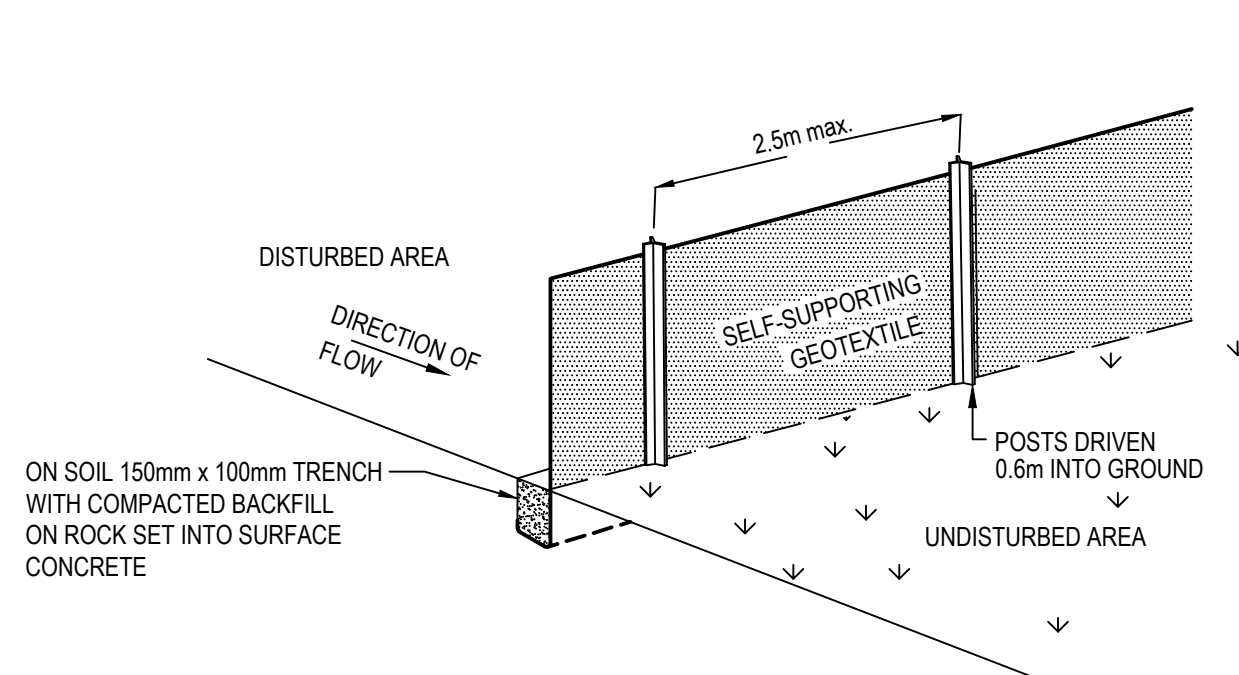
Civil Engineers and Project Managers	
at&l	
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au	
Status	FOR INFORMATION NOT FOR CONSTRUCTION
Project - Drawing No.	A1
21-957-C040	Issue P3



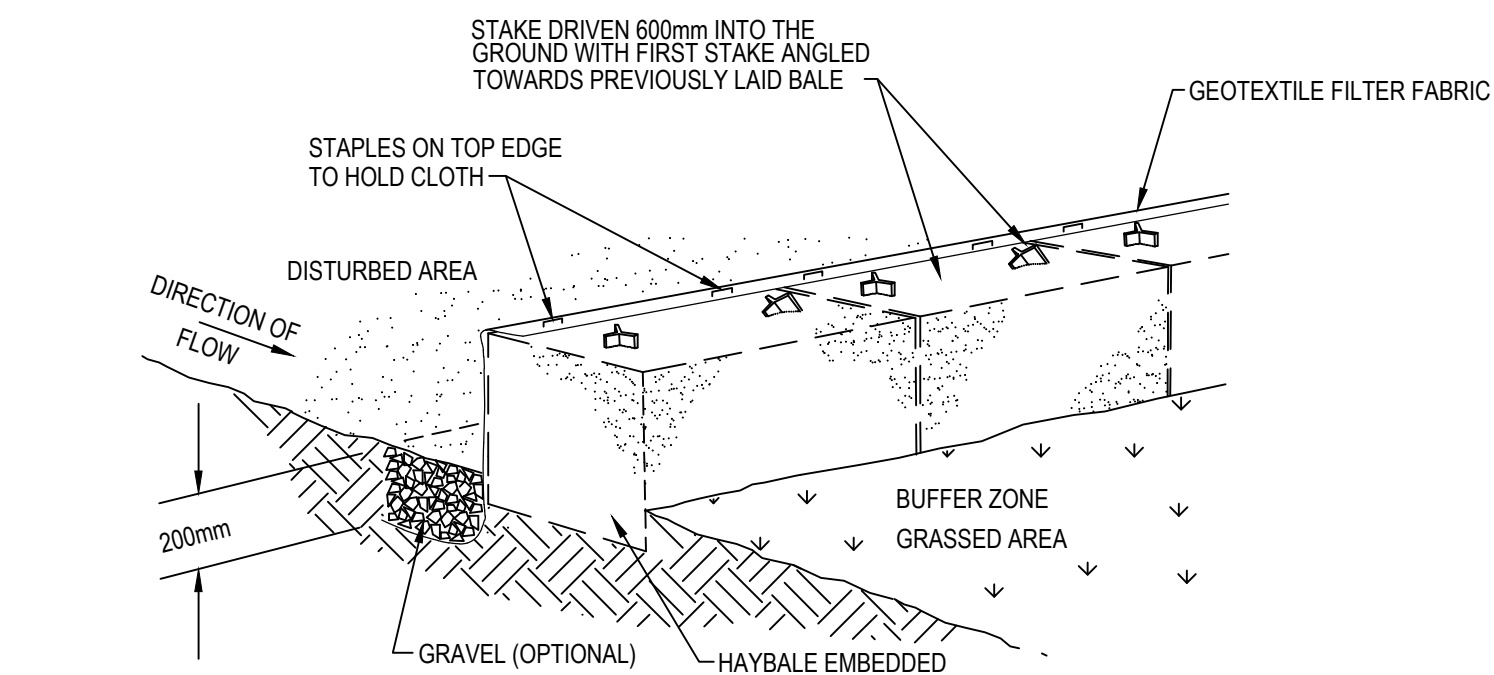
GEOTEXTILE FILTER PIT SURROUND
NTS



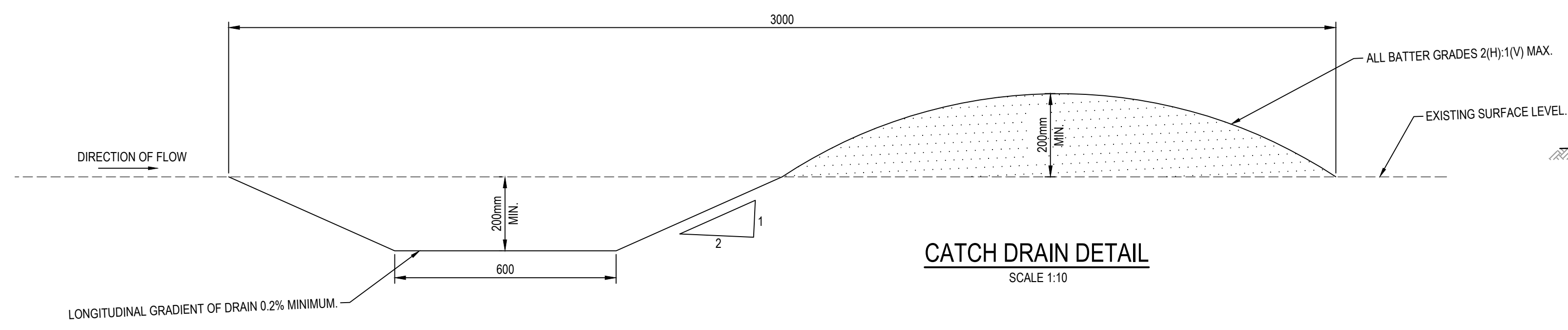
STABILISED SITE ACCESS AND TRUCK WASH DOWN AREA
NTS



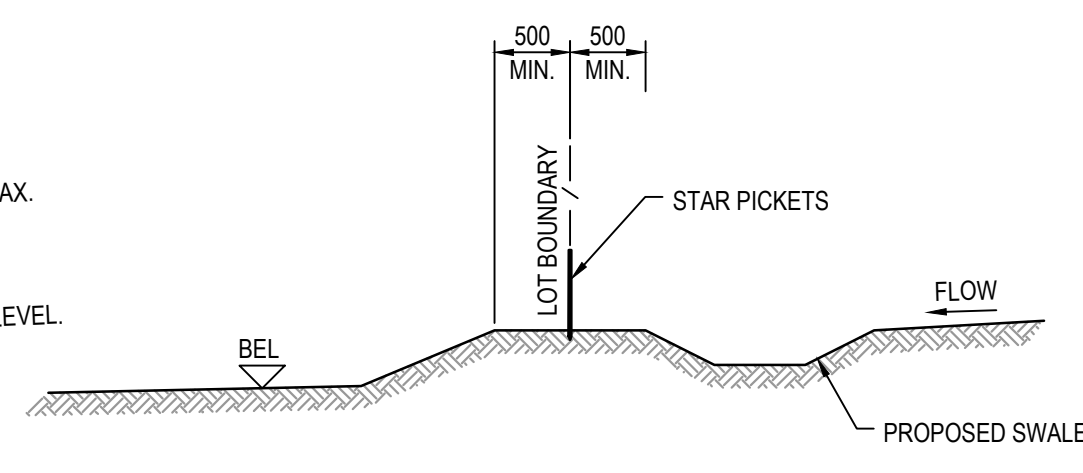
SEDIMENT FENCE (SD 6-8)
NTS



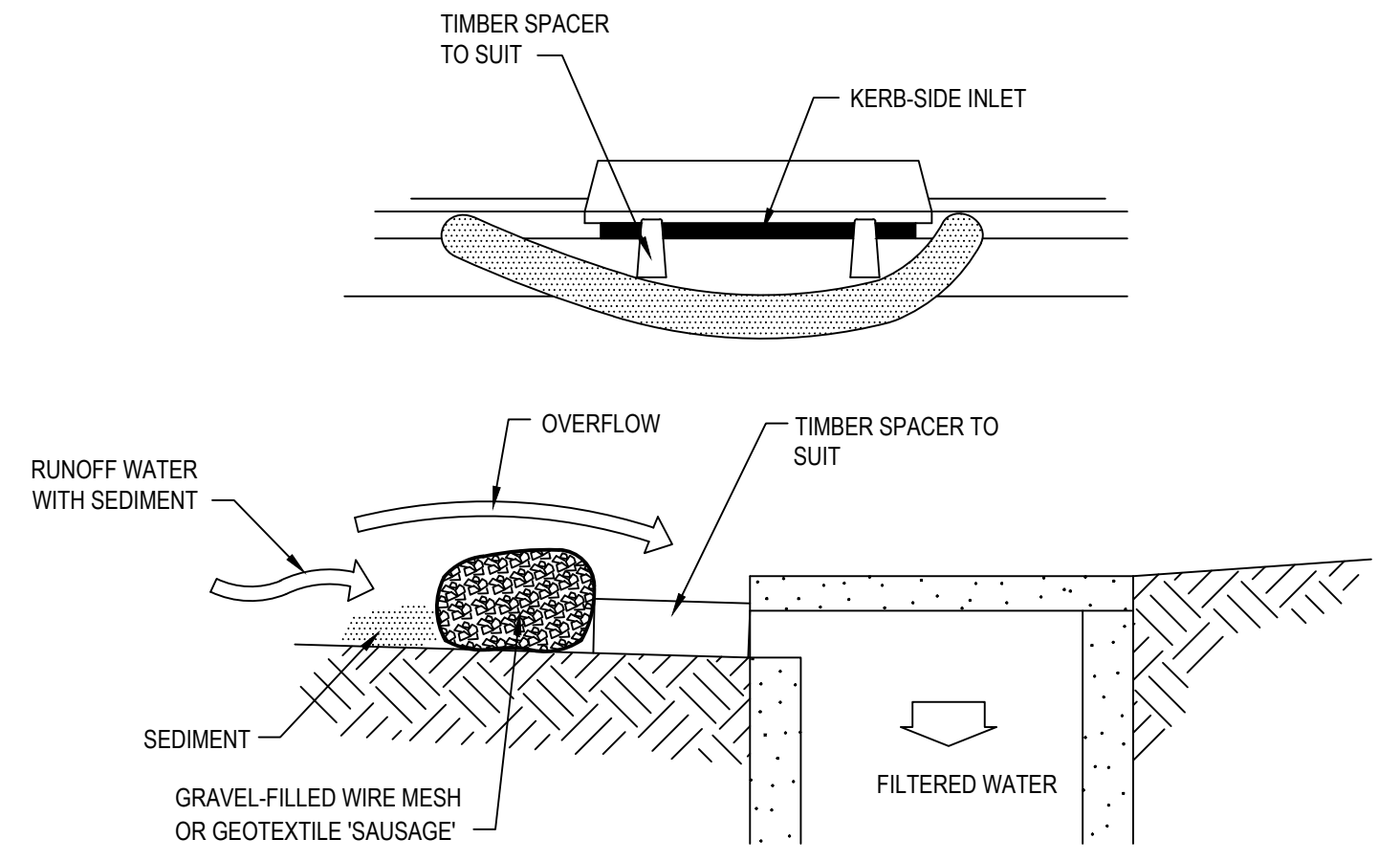
HAYBALE AND GEOTEXTILE SEDIMENT FILTER
NTS



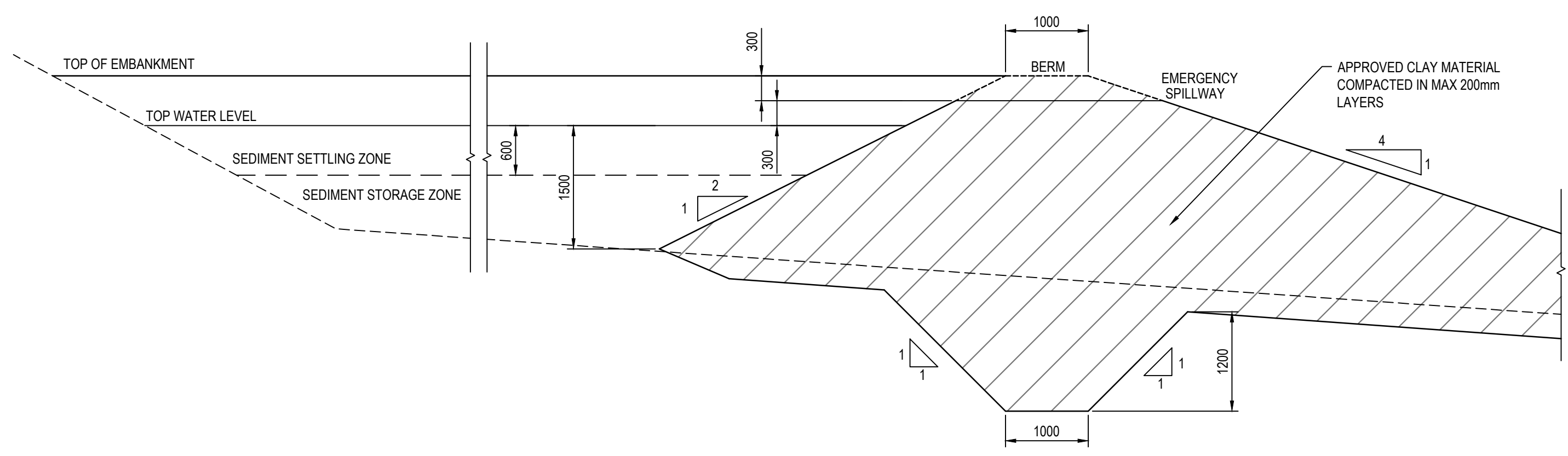
CATCH DRAIN DETAIL
SCALE 1:10



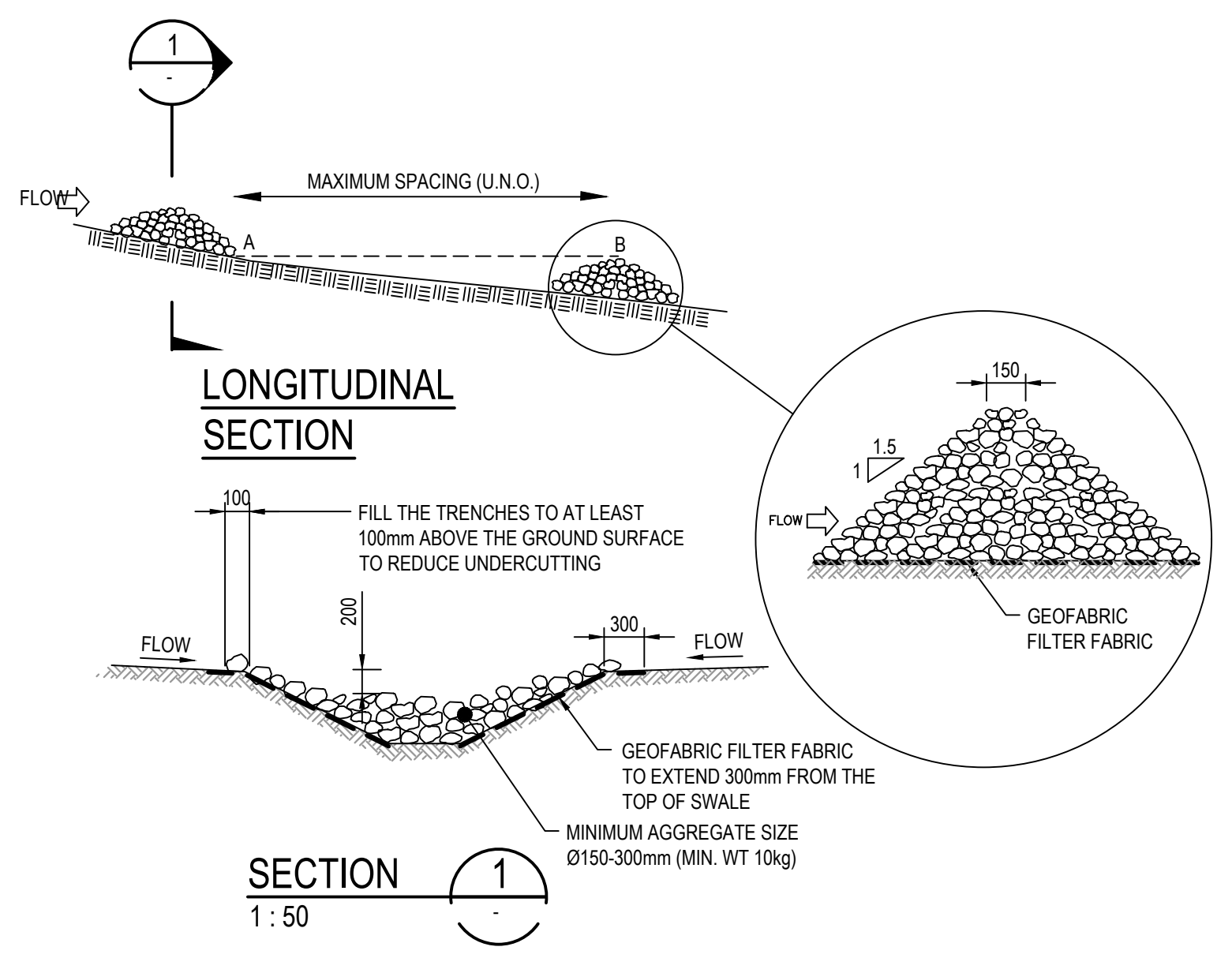
TYPICAL LOT BOUNDARY DETAIL
1:50



MESH AND GRAVEL INLET FILTER
NTS



SEDIMENT BASIN TYPICAL CROSS SECTION
1:50



ROCK RIFFLE CHECK DAM (SD 5-4)
1:50

P3	ISSUED FOR COUNCIL APPROVAL	09-06-23
P2	ISSUED FOR CLIENT REVIEW	26-05-23
P1	ISSUED FOR CLIENT REVIEW	16-06-22
Issue	Description	Date

Bar Scales
0 1 2 3 4 5m
1:50 @ A1 1:100 @ A3

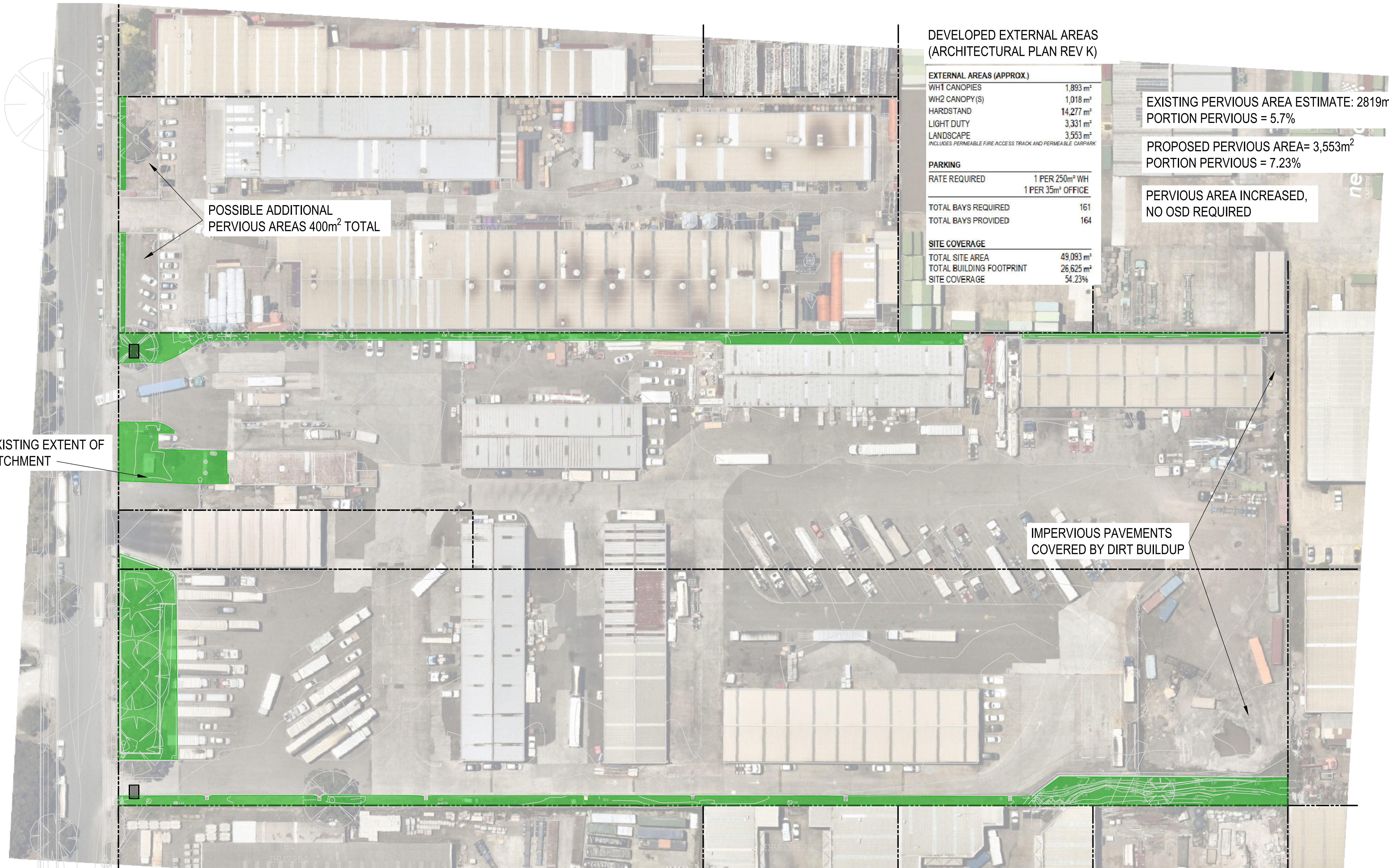
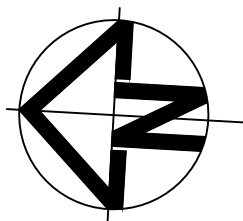
--

Client
Aliro

Scales	AS SHOWN
Grid	GDA2020
Height Datum	AHD
THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L	

Drawn	QD
Designed	QD
Checked	LB
Approved	AT
Project	24-40 ALFRED STREET DEVELOPMENT
Title	SEDIMENT AND EROSION CONTROL DETAILS

Civil Engineers and Project Managers	
at&l	
Level 7, 153 Walker Street North Sydney NSW 2060 ABN 96 130 882 405 Tel: 02 9439 1777 Fax: 02 9923 1055 www.atl.net.au info@atl.net.au	
Status	FOR INFORMATION NOT FOR CONSTRUCTION
Project - Drawing No.	21-957-C041
Issue	P3



DEVELOPED EXTERNAL AREAS
(ARCHITECTURAL PLAN REV K)

EXTERNAL AREAS (APPROX.)	
WH1 CANOPIES	1,893 m ²
WH2 CANOPY(S)	1,018 m ²
HARDSTAND	14,277 m ²
LIGHT DUTY	3,331 m ²
LANDSCAPE	3,553 m ²
INCLUDES PERMEABLE FIRE ACCESS TRACK AND PERMEABLE CARPARK	
PARKING	
RATE REQUIRED	1 PER 250m ² WH 1 PER 35m ² OFFICE
TOTAL BAYS REQUIRED	161
TOTAL BAYS PROVIDED	164
SITE COVERAGE	
TOTAL SITE AREA	49,093 m ²
TOTAL BUILDING FOOTPRINT	26,625 m ²
SITE COVERAGE	54.23%

EXISTING PERVIOUS AREA ESTIMATE: 2819m²
PORTION PERVIOUS = 5.7%

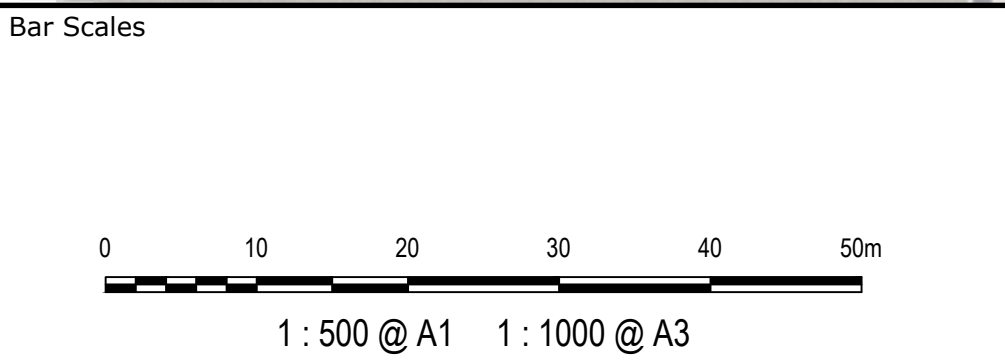
PROPOSED PERVIOUS AREA= 3,553m²
PORTION PERVIOUS = 7.23%

PERVIOUS AREA INCREASED,
NO OSD REQUIRED

ESTIMATED EXISTING EXTENT OF
PERVIOUS CATCHMENT

IMPERVIOUS PAVEMENTS
COVERED BY DIRT BUILDUP

P1	ISSUED FOR COUNCIL APPROVAL	26-05-23
Issue	Description	Date



Client

Scales	1:500 @ A1	Drawn	LB
		Designed	LB
Grid	GDA2020	Checked	AT
Height Datum	AHD	Approved	AT
THIS DRAWING CANNOT BE COPIED OR REPRODUCED IN ANY FORM OR USED FOR ANY OTHER PURPOSE OTHER THAN THAT ORIGINALLY INTENDED WITHOUT THE WRITTEN PERMISSION OF AT&L			

Project	24-40 ALFRED STREET DEVELOPMENT
Title	PERVIOUS CATCHMENT PLAN

Civil Engineers and Project Managers

Level 7, 153 Walker Street
North Sydney NSW 2060
ABN 96 130 882 405
Tel: 02 9439 1777
Fax: 02 9923 1055
www.atl.net.au
info@atl.net.au

Status	FOR INFORMATION NOT FOR CONSTRUCTION	A1
Project - Drawing No.	21-957-C050	Issue P1